

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR STACK STORAGE, LLC PROPOSED SELF STORAGE

BLOCK 360, LOTS 7 & 8; TAX MAP SHEET #93
VANDERBURG ROAD & BOUNDARY ROAD
TOWNSHIP OF MARLBORO
MONMOUTH COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

TOWNSHIP OF MARLBORO		TOWNSHIP OF COLTS NECK	
PROPERTY OWNER	BLOCK LOT	PROPERTY OWNER	BLOCK LOT
TWP. OF MARLBORO 1979 TOWNSHIP OFFICE MARLBORO, NJ 07746	214 51.03	MOURA, DARREN & LISISMA, ANNA 4 MAN-TONE COURT COLTS NECK, NJ 07722	6 10.03
HUMAN, INC. 17 TIMBER LAKE P O BOX 45 MARLBORO, NJ 07746	360 10	HENDRICKS, ANDREW & MARY 103 ROSEWOOD DRIVE LUMBERTON, NC 28358	11 1.01
LANDGREEN LLC 120 VANDERBURG ROAD MARLBORO, NJ 07746	360 9	HENDRICKS, ANDREW & MARY 103 ROSEWOOD DRIVE LUMBERTON, NC 28358	11 1.01
190 BOUNDARY HOLDINGS LLC C/O BAKER 190 BOUNDARY ROAD MARLBORO, NJ 07746	360 6	BENIMATO, JAMES & CHRISTINE 175 CRINE ROAD COLTS NECK, NJ 07722	11 17

ALSO TO BE NOTIFIED:

TOWNSHIP OF COLTS NECK
124 CEDAR DRIVE
COLTS NECK, NJ 07722

MONMOUTH COUNTY PLANNING BOARD
PO BOX 1925
FREEHOLD, NJ 07728

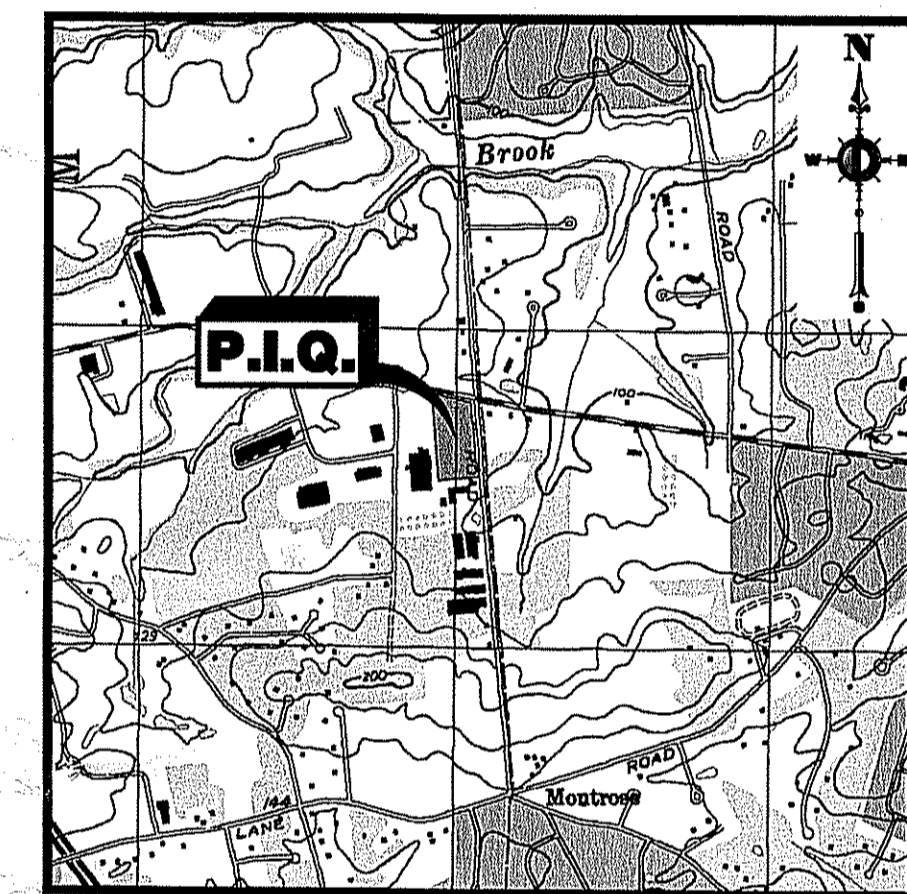
W.M.U.A.
103 PERSON ROAD
ENGLISHTOWN, NJ 07726
ATTENTION: KATHY LEATHERMAN

GORDONS CORNER WATER UTILITY
27 VANDERBURG ROAD
MARLBORO, NJ 07746

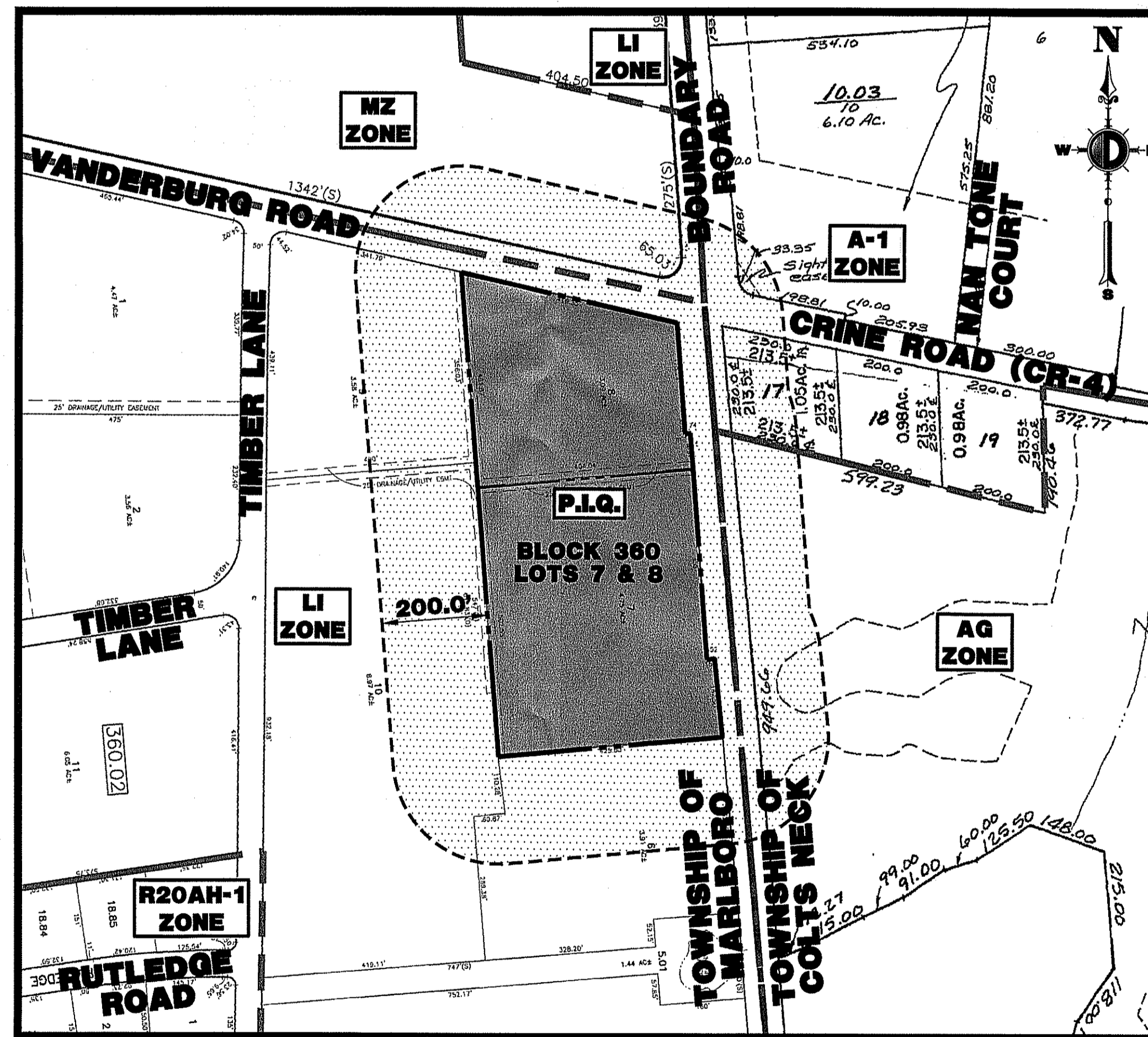
N.J. NATURAL GAS COMPANY
1415 WOODEN ROAD
WALL, NJ 07719
ATTENTION: FRANK GRIF

CHARLESON OF MONMOUTH
40 PINE STREET
TOWSON HILLS, NJ 07753
VERNON NEW JERSEY INC
700 MYSSIE ROAD
NEPTUNE, NJ 07753

JERSEY CENTRAL POWER AND LIGHT COMPANY
101 SHARPOUR CORNER ROAD
RAMBLE, NJ 07753

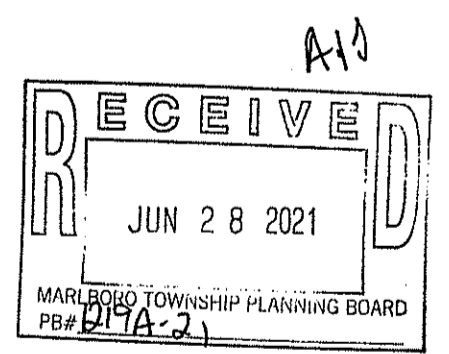


KEY MAP
1" = 2000'



AREA MAP
1" = 200'

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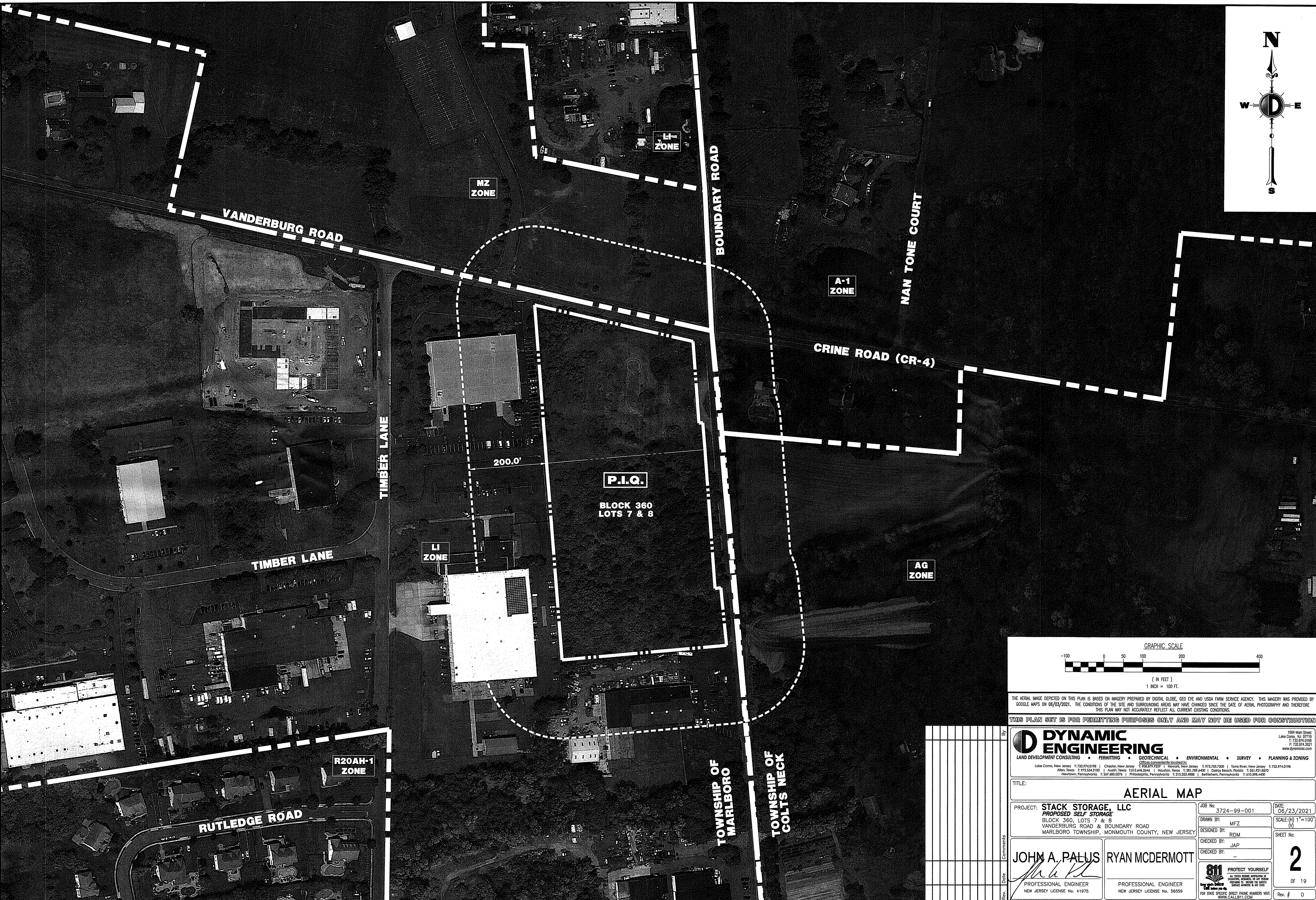
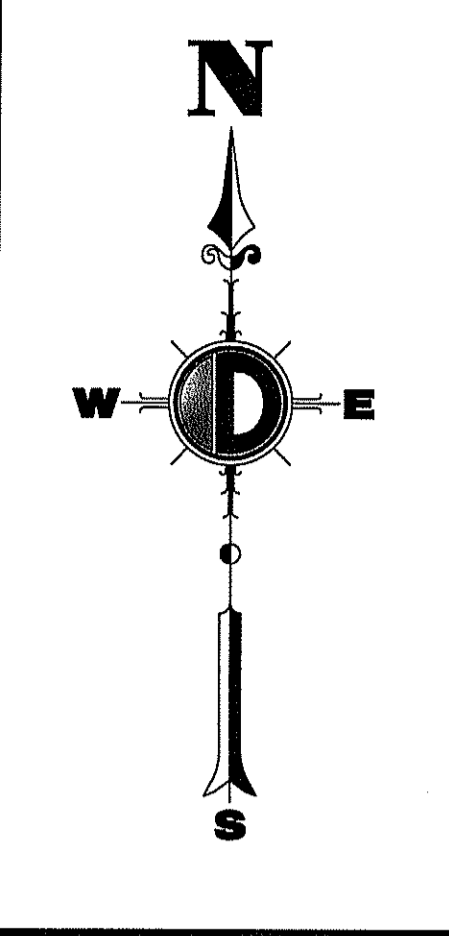
PLANNING BOARD APPROVAL		
APPROVED BY THE PLANNING BOARD OF TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY		
CHAIRMAN	DATE	
SECRETARY	DATE	
TOWNSHIP ENGINEER	DATE	

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICEC.COM

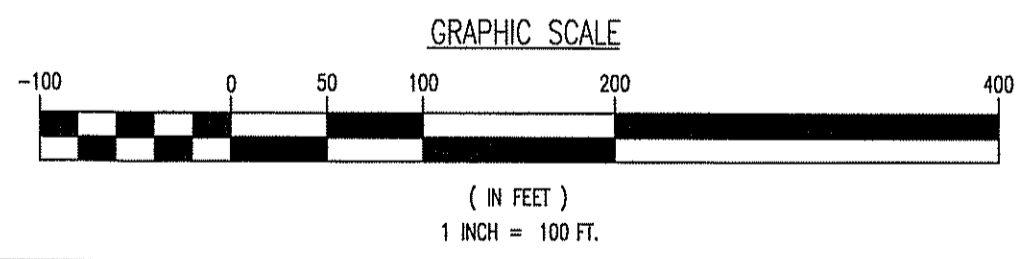
THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

<p>DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING</p>	
<p>TITLE: COVER SHEET</p>	
<p>PROJECT: STACK STORAGE, LLC PROPOSED SELF STORAGE BLOCK 360, LOTS 7 & 8 VANDERBURG ROAD & BOUNDARY ROAD MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY</p>	<p>JOB No: 3724-99-001 DATE: 06/23/2021 DRAWN BY: MFZ SCALE: (H) AS SHOWN DESIGNED BY: RDM CHECKED BY: JAP SHEET No: 1 OF 19 Rev. # 0</p>
<p>JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975</p>	<p>RYAN MCDERMOTT PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56559</p>

Project: 06/25/21 - 10/13/21, AM, By: smacallis, Plan: PA-BECC-Projects\274 - Prop. Storage\99-001 -> COVER SHEET



Product: 06/05/21 - 10:13 AM By: amercallig
 File: P:\DEDC PROJECTS\3724 Proj, Storage\99-001 Marlboro\DWG\Site Plans\3724-99001SAD.dwg, ---> AERIAL MAP



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 06/03/2021. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.
THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

		<small>1904 Main Street Lakewood, NJ 07102 T: 732.574.0198 F: 732.574.2521 www.dynamiceng.com</small>	
<small>LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING</small>			
<small>Lakewood, New Jersey T: 732.574.0198 Chester, New Jersey T: 732.574.2521 Hightstown, New Jersey T: 973.763.3200 Toms River, New Jersey T: 732.574.0198 Allen, Texas T: 972.534.2100 Austin, Texas T: 512.444.2444 Houston, Texas T: 281.789.4400 Delray Beach, Florida T: 561.921.8570 Newtown, Pennsylvania T: 267.665.0274 Philadelphia, Pennsylvania T: 215.253.4088 Baltimore, Pennsylvania T: 410.591.4400</small>			
TITLE: AERIAL MAP			
PROJECT: STACK STORAGE, LLC PROPOSED SELF STORAGE BLOCK 360, LOTS 7 & 8 VANDERBURG ROAD & BOUNDARY ROAD MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY		JOB No: 3724-99-001 DATE: 06/23/2021	SCALE: (H) 1"=100' (V)
DRAWN BY: MFZ DESIGNED BY: RDM CHECKED BY: JAP		SHEET No: 2 OF 19	
JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975		RYAN McDERMOTT PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56559	
<small>811 PROTECT YOURSELF ALL CITY, COUNTY, STATE AND FEDERAL AGENCIES, AND ALL PUBLIC UTILITIES, SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION OR SURFACE ALTERATION IN ANY STATE. FOR STATE SPECIFIC DIALING PHONE NUMBERS VISIT: WWW.CALL811.COM</small>			

SITE PLAN NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

- 1. SURVEY OF PROPERTY...
2. APPLICANT: STACK STORAGE, LLC...
3. OWNER: LOT 7 WANDERBURG BOUNDARY LLC...
4. PARCEL DATA: BLOCK 360, LOT 7 & 8...
5. ZONE: ZONE U (LIGHT INDUSTRIAL ZONE)
6. EXISTING USE: UNDEVELOPED
7. PROPOSED USE: SELF STORAGE FACILITY (PERMITTED USE) (§ 220-90(a)(5))
8. SCHEDULE OF ZONING REQUIREMENTS (§ 220-340 AND 220-500, ATTACHMENT 9, TABLE 1)

Table with 4 columns: ZONE REQUIREMENT, LI ZONE, EXISTING, PROPOSED. Rows include MINIMUM LOT AREA, MINIMUM LOT WIDTH, MINIMUM LOT FRONTAGE, MINIMUM LOT DEPTH, MINIMUM FRONT YARD SETBACK, etc.

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE

- [1] A FRONT LOT LINE IS DEFINED AS A LOT LINE OR PORTION THEREOF WHICH IS COEXTENSIVE WITH A STREET LINE AND LONGER WHICH THE LOT FRONTAGE IS CALCULATED.
[2] A REAR LOT LINE IS DEFINED AS THE LOT LINE MOST DISTANT FROM AND GENERALLY OPPOSITE AND PARALLEL TO THE FRONT LOT LINE.
[3] A SIDE LOT LINE IS DEFINED AS ANY LOT LINE OTHER THAN A FRONT OR REAR LOT LINE.

* COVERED DRIVE-ABLE INCLUDED IN CALCULATION.

- 9. PARKING REQUIREMENTS
A. FRONT YARD AREAS MAY BE UTILIZED FOR PARKING...
B. THE COLLECTIVE PROVISION OF OFF-STREET PARKING AREA BY TWO OR MORE BUILDINGS OR LOTS LOCATED ON ADJACENT LOTS IS PERMITTED...
C. PARKING SPACES SHALL BE LOCATED IN ANY REAR OR SIDE YARD, BUT NOT BE LOCATED IN ANY REAR YARD AREA EXCEPT WHERE SPECIFICALLY PERMITTED ELSEWHERE...
D. PARKING SPACES, DRIVEWAYS AND AISLES SHALL BE CLEARLY MARKED AND DELINEATED...
E. EACH OFF-STREET PARKING SPACE SHALL MEASURE NOT LESS THAN 10 FEET BY 20 FEET...
F. SIDEWALKS AND CURBS SHALL BE PROVIDED WITH CURBING OR THE EQUIVALENT...
G. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
H. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
I. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
J. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
K. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
L. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
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W. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
X. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
Y. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...
Z. OFF-STREET PARKING LOTS SHALL BE PROVIDED WITH ONE OR MORE TRAFFIC LIGHTS...

- 10. LOADING REQUIREMENTS
A. FOR EVERY BUILDING, STRUCTURE OR PART THEREOF HAVING OVER 5,000 SQUARE FEET OF BUILDING AREA...
B. PLACES OF PUBLIC AND QUASI-PUBLIC ASSEMBLY...
C. ACCESS TO TRUCK STANDING, LOADING AND UNLOADING SPACE...
D. LOADING SPACE AS REQUIRED UNDER THIS SECTION SHALL BE PROVIDED IN ADDITION TO OFF-STREET PARKING SPACE...
E. OFF-STREET LOADING AND UNLOADING AREAS SHALL BE SURFACED WITH AN ADEQUATELY DRAINABLE DURABLE...
F. NO OFF-STREET LOADING AND UNLOADING AREA SHALL BE PERMITTED IN ANY REAR YARD AREA...
11. DRIVEWAY REQUIREMENTS
A. NO DRIVEWAY OR DR FROM A PARKING AREA SHALL BE LOCATED CLOSER THAN 100 FEET TO THE NEAREST RIGHT-OF-WAY...
B. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 12 FEET FOR ONE-WAY TRAFFIC AND 25 FEET FOR TWO-WAY TRAFFIC...
C. NOT MORE THAN TWO DRIVEWAYS USED AS A MEANS OF INGRESS OR EGRESS FOR NONRESIDENTIAL OFF-STREET PARKING AREAS...
D. NO PAVED TERRACE OR DRIVEWAY SHALL BE PERMITTED CLOSER THAN FIVE FEET TO ANY SIDE OR REAR PROPERTY LINE...
E. WHEN A PARKING AREA OF FOUR OR MORE VEHICLES OR A LOADING AND UNLOADING AREA ADJACENT RESIDENTIAL PROPERTY AREA...
12. EXCEPT FOR SINGLE-FAMILY DWELLINGS...
13. BUFFER / LANDSCAPING REQUIREMENTS
A. ALL PARKING AREAS FOR 10 OR MORE VEHICLES SHALL BE LANDSCAPED WITH HEDGES AND SHADE TREES...
B. ALL PARKING AREAS FOR 20 OR MORE VEHICLES SHALL CONTAIN GRASSED OR LANDSCAPED ISLAND AREAS...
C. WITHIN A BUFFER AREA A SOLID AND CONTINUOUS LANDSCAPING SCREEN SHALL BE PLANTED AND MAINTAINED...
D. WITHIN A BUFFER AREA A SOLID AND CONTINUOUS LANDSCAPING SCREEN SHALL BE PLANTED AND MAINTAINED...
E. THE REQUIRED BUFFER SCREEN SHALL BE 150 FEET FROM THE STREET LINE OF ANY INTERSECTING STREET...
F. THE ELEVATION OF THE ADJACENT AREA OR STRUCTURE TO BE BUFFERED...
G. THE ELEVATION OF THE ADJACENT AREA OR STRUCTURE TO BE BUFFERED...
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Y. THE ELEVATION OF THE ADJACENT AREA OR STRUCTURE TO BE BUFFERED...
Z. THE ELEVATION OF THE ADJACENT AREA OR STRUCTURE TO BE BUFFERED...

- 14. FENCE REQUIREMENTS
A. THE OUTDOOR STORAGE OF MATERIAL, EQUIPMENT OR REFUSE SHALL ONLY BE PERMITTED IF SUCH STORAGE IS FENCED AND/OR SCREENED FROM PUBLIC VIEW...
B. FENCES HEREAFTER ERRECTED...
C. FOR CORNER PROPERTIES, FENCES IN FRONT YARDS SHALL BE PERMITTED ON SETBACK LINES...
D. THE MAXIMUM GRADE FOR LANS IN FRONT FIVE FEET OF A BUILDING SHALL BE 10%, AND FOR LANS MORE THAN FIVE FEET FROM A BUILDING...
15. FENCE REQUIREMENTS
A. THE OUTDOOR STORAGE OF MATERIAL, EQUIPMENT OR REFUSE SHALL ONLY BE PERMITTED IF SUCH STORAGE IS FENCED AND/OR SCREENED FROM PUBLIC VIEW...
B. FENCES HEREAFTER ERRECTED...
C. FOR CORNER PROPERTIES, FENCES IN FRONT YARDS SHALL BE PERMITTED ON SETBACK LINES...
D. THE MAXIMUM GRADE FOR LANS IN FRONT FIVE FEET OF A BUILDING SHALL BE 10%, AND FOR LANS MORE THAN FIVE FEET FROM A BUILDING...

- D. EVERY FENCE SHALL BE MAINTAINED IN A SAFE, SOUND, UPRIGHT CONDITION...
E. ALL PERMITS MUST BE ERRECTED WITHIN THE PROPERTY LINES...
F. THE FOLLOWING FENCES AND FENCING MATERIALS ARE SPECIFICALLY PROHIBITED...
16. PRIOR TO STARTING CONSTRUCTION...
17. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY...
18. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS...
19. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND UTILITIES...
20. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS...
21. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED...
22. SOIL WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS...
23. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION...
24. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION...
25. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION...
26. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION...
27. DYNAMIC ENGINEERING CONSULTANTS SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS...
28. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT...
29. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS...
30. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS...
31. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES...
32. THE BUILDING DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS...
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
35. ANY IMPORTED FILL SHALL MEET THE DEFINITION OF CLEAN FILL IN ACCORDANCE WITH THE NJDEP'S TECHNICAL REQUIREMENTS...

DEMOLITION NOTES

- 1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
3. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
4. ERECT AND MAINTAIN COVER PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION...
5. REFRAIN FROM USING ANY EMPLOYEES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
6. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES...
7. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING...
8. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
9. COMPLETELY FILL BELOW GRADE AREAS AND VOIDG resulting FROM THE DEMOLITION OF STRUCTURES AND BUILDINGS WITH SOIL MATERIALS...
10. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES...
11. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED...
12. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED...
13. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED...
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Table with 2 columns: TYPE, DATES. Rows include PLANTS, LANS, ACER RUBRUM, BETULA VARIETIES, CORYLUS VARIETIES, etc.

GRADING NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS...
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS...
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE...
4. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS...
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES...
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES...
9. THE OWNER SHALL RETAIN QUALIFIED CIVIL ENGINEER (REG. 069-078-7095) OR ALTERNATIVE QUALIFIED GEOTECHNICAL ENGINEER...
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY...
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION...
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL... UNLESS DENIED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

DRAINAGE NOTES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE...
2. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION...
3. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED...
4. HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS...
5. HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS...
6. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES...

UTILITY NOTES

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES...
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE...
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS...
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY...
5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 5 DUCTILE IRON PIPE...
6. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER...
7. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN...
8. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN...
9. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE...
10. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS...
11. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.

PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT...
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY...
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL...
5. PLANTS SHALL BE PLANTED IN AN UNWEEDED ZONE...
6. PLANTS SHALL BE PLANTED WITH "WELL-DRIPP" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS...
7. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON...
8. PLANTS SHALL BE PLANTED WITH "WELL-DRIPP" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS...
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11. PLANTS SHALL BE PLANTED WITH "WELL-DRIPP" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS...
12. SET ALL PLANTS PLUMB AND STRAIGHT...
13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS...
14. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES...
15. ALL PLANTING DEBRIS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SIEVED HARDWOOD BARK MULCH...
16. PRIOR TO THE ISSUANCE OF A WATERING SCHEDULE...
17. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL...
18. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL...
19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL...
20. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL...

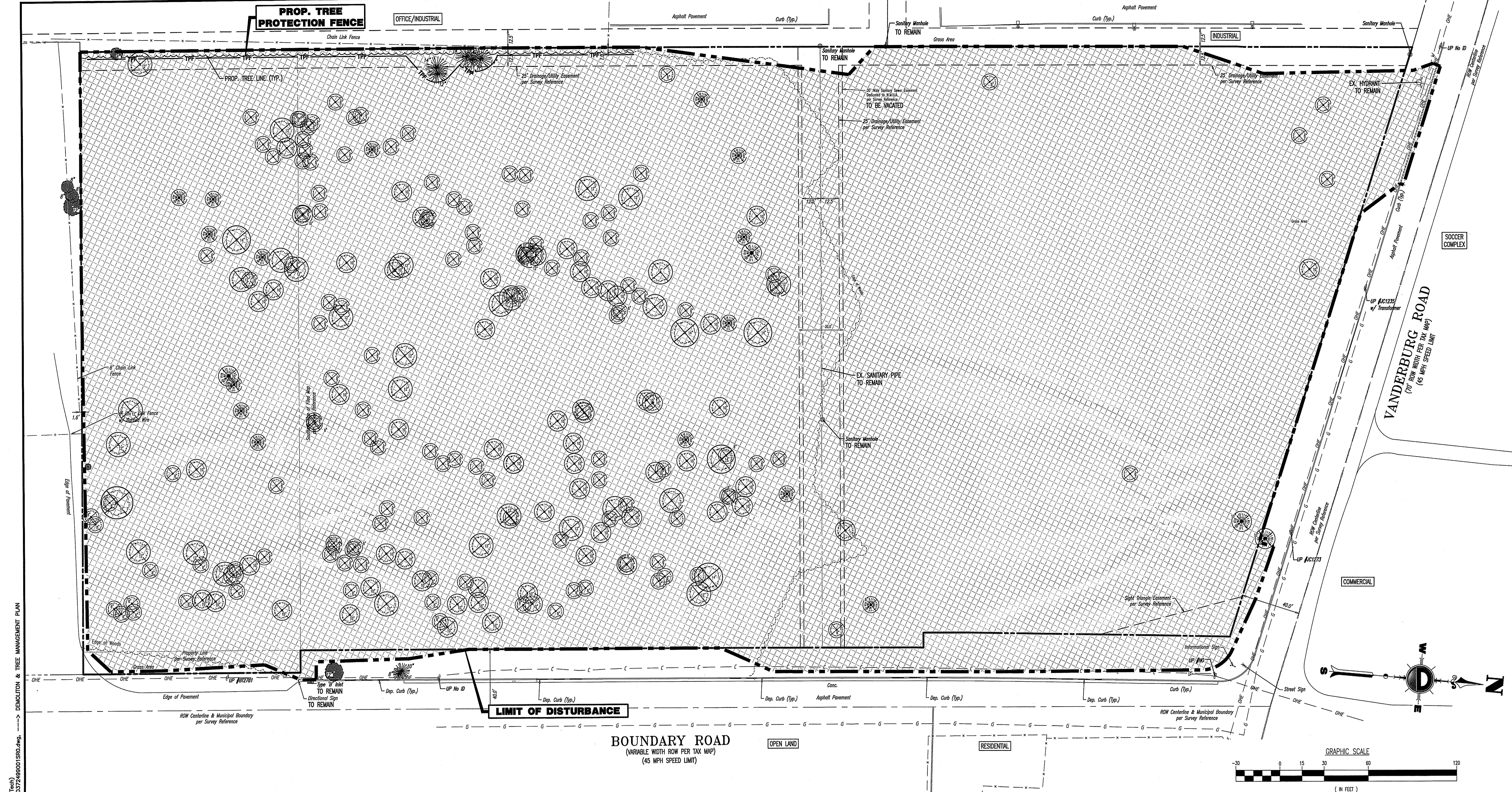
PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK
A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE...
2. MATERIALS
A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY DESIGN...
B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED...
C. MULCH - FOUR (4) INCHES THICK DOUBLE SIEVED HARDWOOD BARK MULCH...
D. ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINERAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORUS...
E. LANDSCAPE WATER SOIL COMMERCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE...
3. WEEDING
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING...
4. TOPSOIL
A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS...
5. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6"...
6. PREPARED SOIL SHALL BE TAKEN FROM AT BOTTOM OF THE FULL PREPARED SOIL BALL...
7. BACKFILL AND WATER THROUGHOUT...
8. PLANTING BASED AROUND PLANTING HOLE WITH PLANTING HOLE WITH PLANTING HOLE WITH PLANTING HOLE...
9. EXISTING COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS BAVED INTO THE TOP 1" OF PREPARED SOIL...
10. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1" OF FINISH GRADE...
11. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR...
12. CLEANUP
A. PRIOR TO THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE...
13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD...
14. EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION...
15. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDE POSTS...
16. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM...
17. TOWNSHIP LIGHTING REQUIREMENTS
A. ALL PARKING AREAS AND APPURTENANCE PASSAGeways AND DRIVEWAYS SERVING COMMERCIAL AND INDUSTRIAL USES...
B. ALL PARKING, LOADING AND UNLOADING AREAS AND WALKWAYS THEREIN...
18. CONTRACTOR TO ILLUMINATE OFF-STREET PARKING AREAS SHALL BE ARRANGED TO REFLECT THE LIGHT AWAY FROM RESIDENTIAL PREMISES...

Table with 2 columns: TYPE, DATES. Rows include PLANTS, LANS, ACER RUBRUM, BETULA VARIETIES, CORYLUS VARIETIES, etc.

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Vertical text on the left margin containing project information and dates.

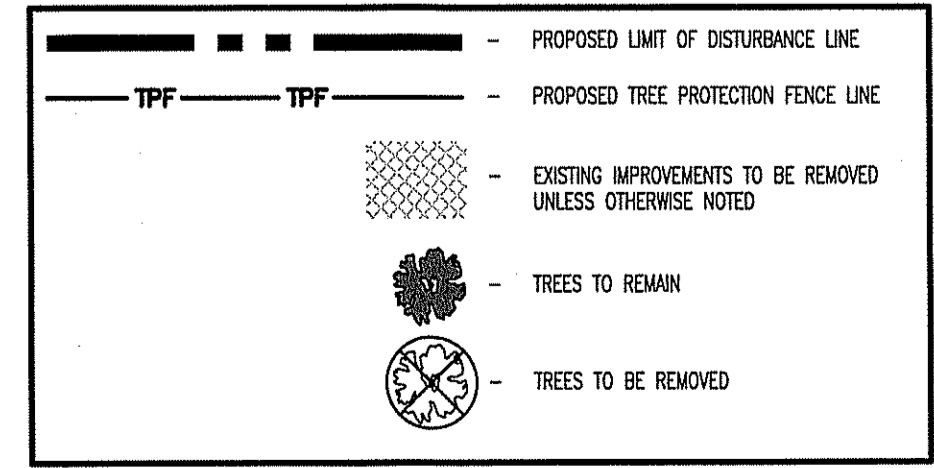


Product No. 04.06 (LMS Book)
 File: PA_DEMO_TREE_MANAGEMENT_PLAN.dwg
 Date: 06/23/2021
 By: JAP
 Project: STACK STORAGE, LLC
 Location: MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

TREE REMOVAL SCHEDULE

CALIPER	# OF TREES REMOVED	MULTIPLICATION FACTOR	# OF REPLACEMENT TREES REQUIRED	PROPOSED TREES
ONE GREATER THAN FOUR (4) AND UP TO TWELVE (12)	237	1	237	-
ONE GREATER THAN TWELVE (12) AND UP TO EIGHTEEN (18)	6	2	12	-
ONE GREATER THAN EIGHTEEN (18) AND UP TO TWENTY FOUR (24)	0	2	0	-
ONE GREATER THAN TWENTY FOUR (24)	0	4	0	-
TOTAL	243		249	76

DEMOLITION PLAN LEGEND



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 F: 732.974.3521
 www.dynemec.com

TITLE: **DEMOLITION & TREE MANAGEMENT PLAN**

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
 BLOCK 360, LOTS 7 & 8
 VANDERBURG ROAD & BOUNDARY ROAD
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

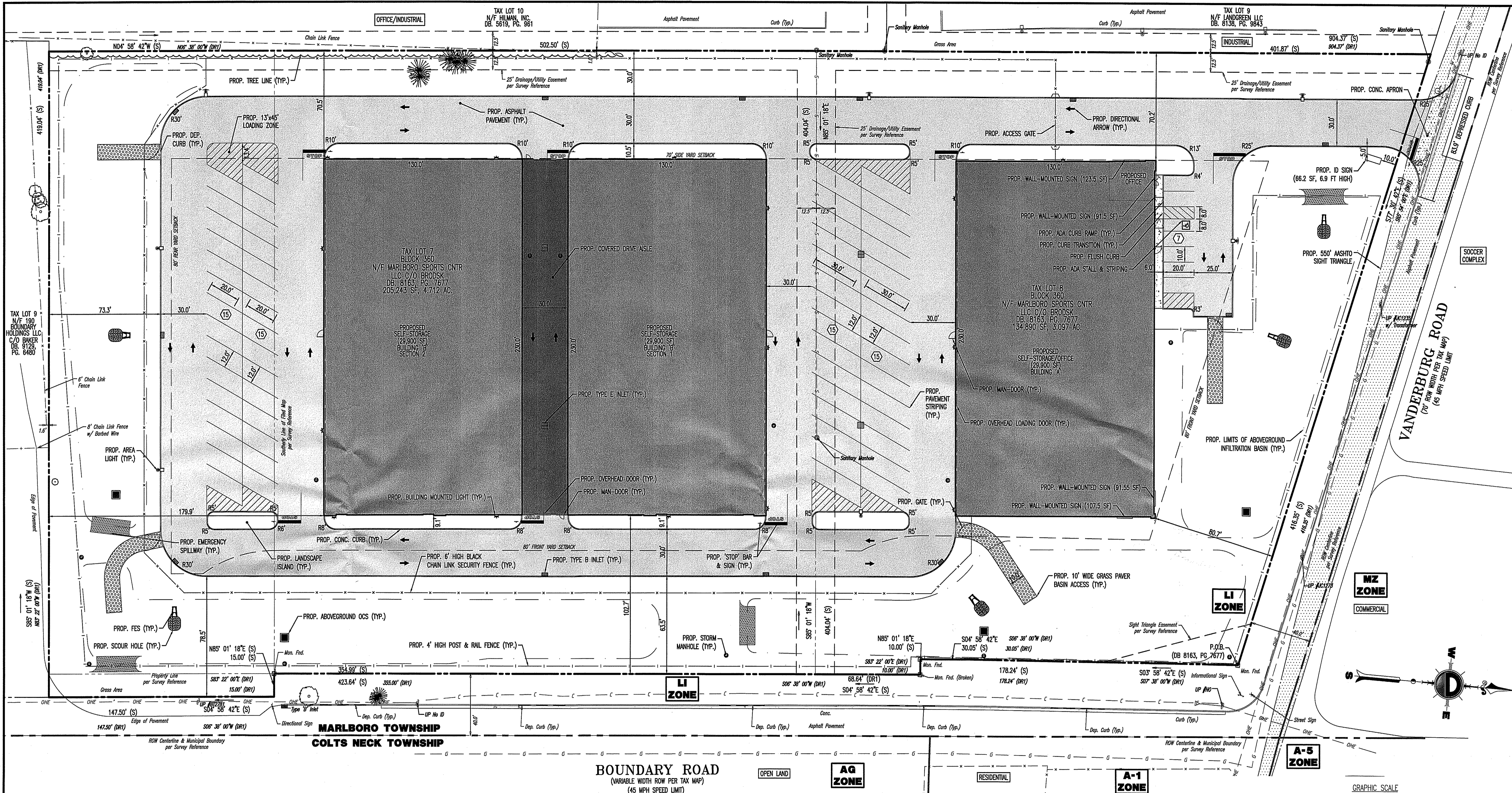
JOB No: 3724-99-001 DATE: 06/23/2021
 DRAWN BY: MFZ SCALE: (H) 1"=30'
 DESIGNED BY: RDM (V)
 CHECKED BY: JAP SHEET No: 4
 CHECKED BY: JAP

JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41975

RYAN McDERMOTT PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 56559

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Rev. # 0



BULK CHART

ZONE REQUIREMENT	LI ZONE	EXISTING	PROPOSED
MINIMUM LOT AREA	3 AC	341,815.3 SF (7.847 AC)	341,815.3 SF (7.847 AC)
MINIMUM LOT WIDTH	300 FT	395 FT	395 FT
MINIMUM LOT FRONTAGE	300 FT	416 FT (VANDERBURG RD) 779 FT (BOUNDARY RD)	416 FT (VANDERBURG RD) 779 FT (BOUNDARY RD)
MINIMUM LOT DEPTH	300 FT	820 FEET	820 FEET
MINIMUM FRONT YARD SETBACK (VANDERBURG ROAD)	80 FT	N/A	80.7 FT
MINIMUM FRONT YARD SETBACK (BOUNDARY ROAD)	80 FT	N/A	102.7 FT
MINIMUM REAR YARD SETBACK	80 FT	N/A	179.9 FT
MINIMUM SIDE YARD SETBACK	70 FT	N/A	70.5 FT
MAXIMUM BUILDING HEIGHT	50 FT	N/A	N/A
MAXIMUM LOT COVERAGE (BY BUILDINGS & STRUCTURES)	35%	N/A	28.3% (96,600 SF)*
MAXIMUM IMPERVIOUS COVERAGE	60%	N/A	58.9% (201,360 SF)
MAXIMUM FLOOR AREA RATIO	0.35	N/A	0.28 (96,600 SF)*

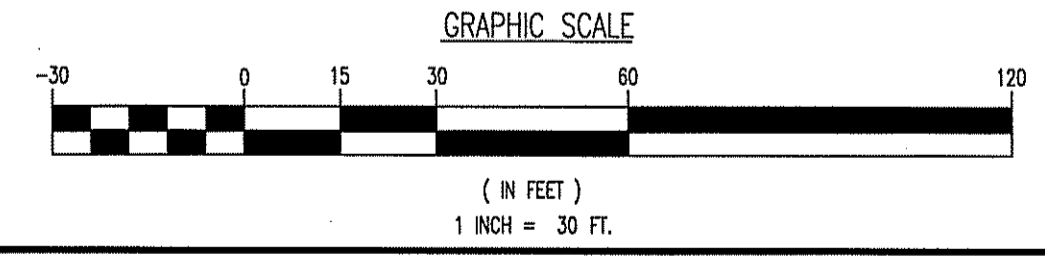
SIGNAGE CHART

SIGN	PERMITTED - LI ZONE (SECTION 220-99)		PROPOSED	
	NUMBER OF SIGNS:	MAXIMUM SIGN AREA:	NUMBER OF SIGNS:	SIGN AREA:
FREESTANDING	1 [1]	140 SF [1]	1	66.2 SF
	25 SF	25 SF	6.9 FT	6.9 FT
	10 FT [2]	10 FT [2]	10 FT	10 FT
	1 PER SIDE FRONTING STREET	1 PER SIDE FRONTING STREET	2	BUILDING A (NORTH FAÇADE): 2 BUILDING A (EAST FAÇADE): 1 BUILDING A (WEST FAÇADE): 1
BUILDING MOUNTED	10% OF EACH BUILDING FAÇADE AREA FRONTING UPON STREET:	10% OF EACH BUILDING FAÇADE AREA FRONTING UPON STREET:	91.5 SF EACH, 183 SF TOTAL	BUILDING A (NORTH FAÇADE): 91.5 SF EACH, 183 SF TOTAL BUILDING A (EAST FAÇADE): 107.5 SF BUILDING A (WEST FAÇADE): 123.5 SF
	1 FT	1 FT	< 1 FT	< 1 FT
	< 1 FT	< 1 FT	< 1 FT	< 1 FT

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE
 [1] A FRONT LOT LINE IS DEFINED AS A LOT LINE OR PORTION THEREOF WHICH IS COEXISTENT WITH A STREET LINE AND ALONG WHICH THE LOT FRONTAGE IS CALCULATED. (§220-4.8)
 [2] A REAR LOT LINE IS DEFINED AS THE LOT LINE MOST DISTANT FROM AND GENERALLY OPPOSITE AND PARALLEL TO THE FRONT LOT LINE. A REAR YARD IS DEFINED AS THE AREA EXTENDING ACROSS THE FULL WIDTH OF THE LOT LINE BETWEEN THE PRINCIPAL BUILDING ON THE LOT AND REAR LOT LINE. (§220-4.8)
 [3] A SIDE LOT LINE IS DEFINED AS ANY LOT LINE OTHER THAN A FRONT OR REAR LOT LINE. (§220-4.8)

REFER TO ARCHITECTURAL DRAWINGS FOR SIGNAGE DETAILS

SEE SHEET 3 OF 19 FOR SITE PLAN NOTES



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PROPOSED SELF STORAGE
 BLOCK 360, LOTS 7 & 8
 VANDERBURG ROAD & BOUNDARY ROAD
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

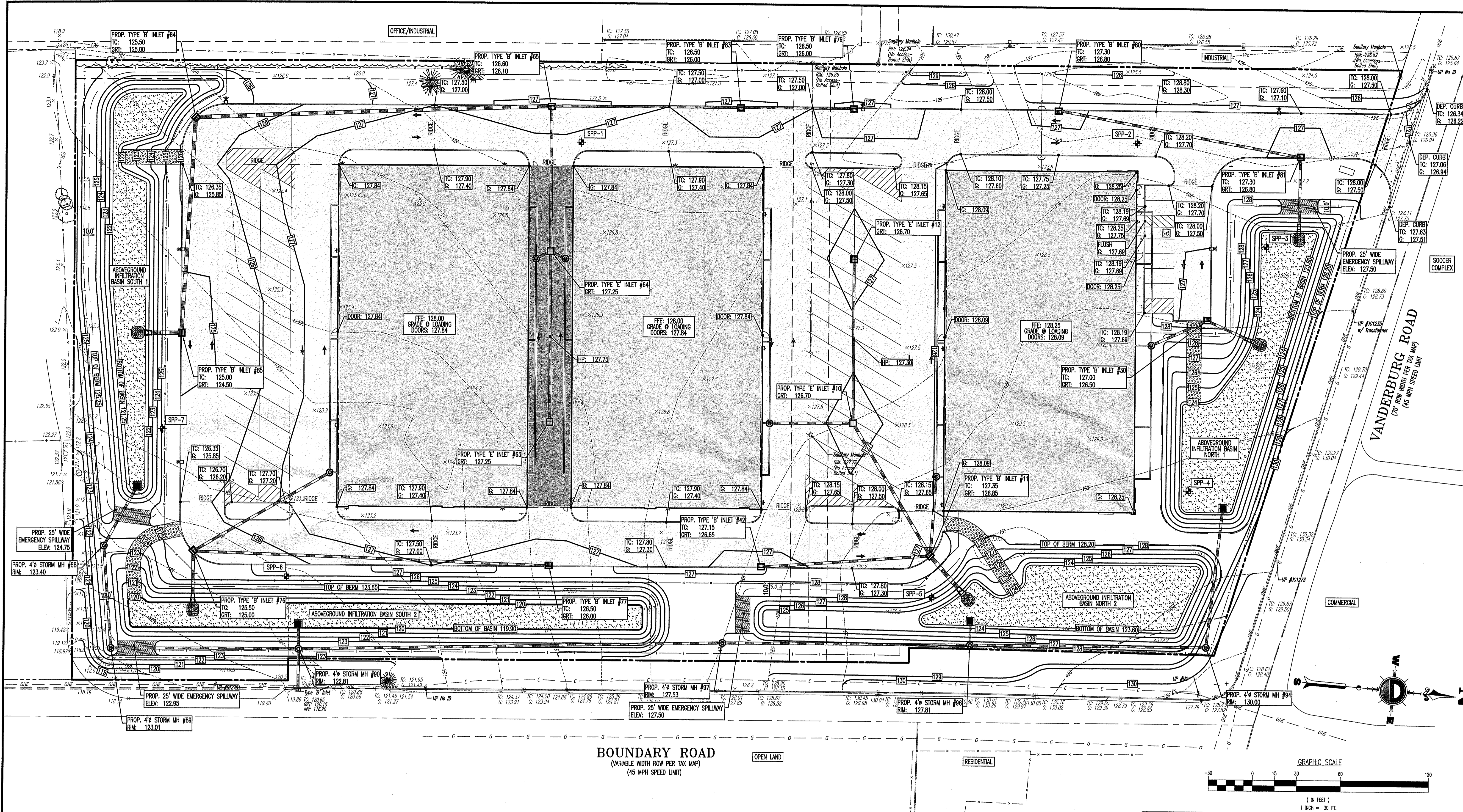
JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 41975

RYAN MCDERMOTT PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 66559

JOB No: 3724-99-001
 DATE: 06/06/21
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 Date: 06/25/21 10:14 AM By: emcneille
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SEE SHEET 3 OF 19 FOR GRADING PLAN NOTES

GRADING/UTILITY GRAPHIC LEGEND

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "E" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "E" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p> <p>PROP. WATER LINE</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>EXIST. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT SHOWN)</p> <p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT SHOWN)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR & ELEVATION</p> <p>EXIST. MAJOR CONTOUR & ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR & ELEVATION</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB & FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (FACTUAL) BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB (CH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (CL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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GRADING PLAN

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
 BLOCK 360, LOTS 7 & 8
 VANDERBURG ROAD & BOUNDARY ROAD
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

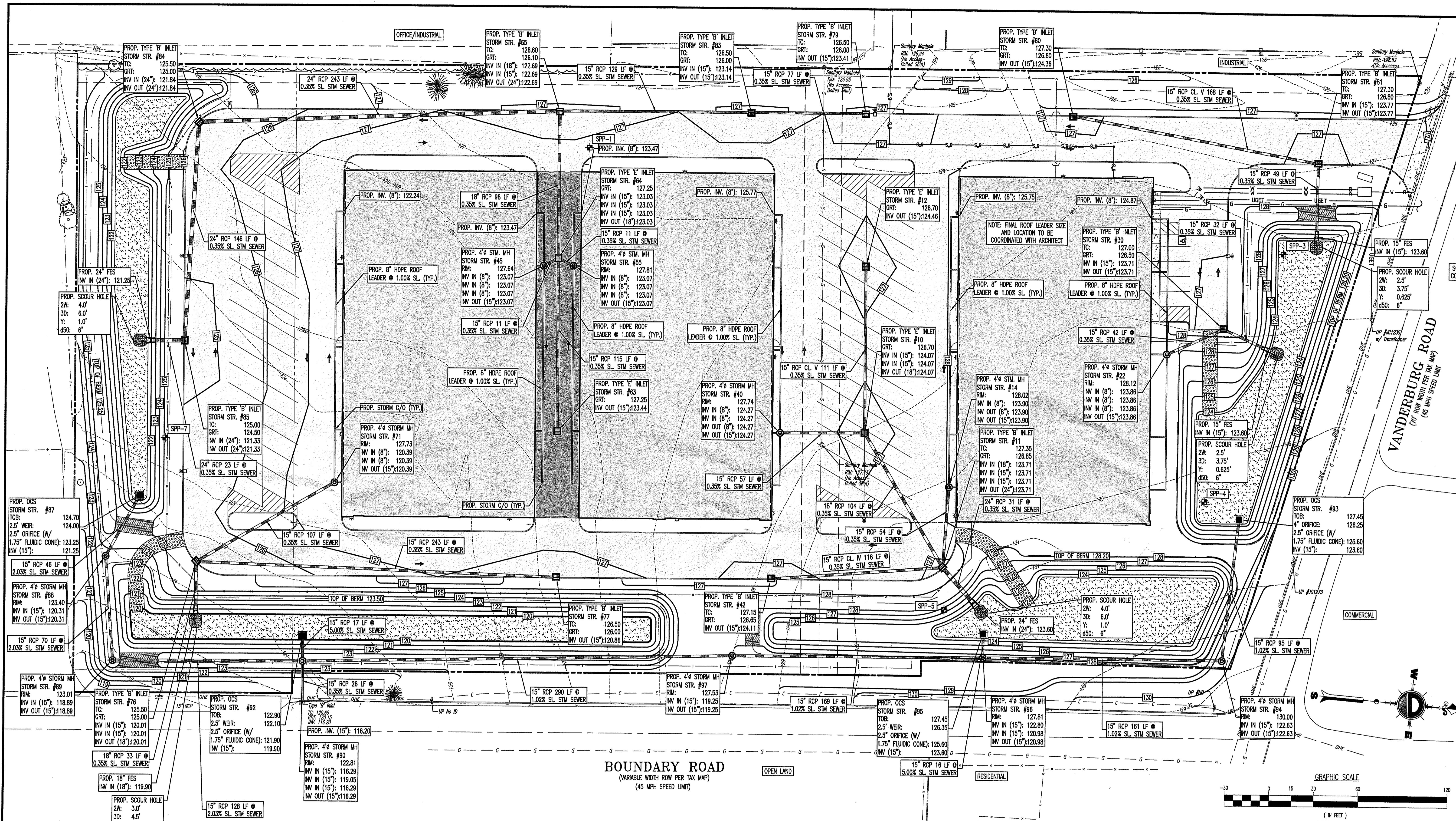
JOB No: 3724-99-001
 DATE: 06/23/21
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 SCALE: (H) (V)
 DESIGNED BY: RDM
 SHEET No: 19
 CHECKED BY: JAP
 CHECKED BY: _____

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 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 41975

RYAN MCDERMOTT
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 56599

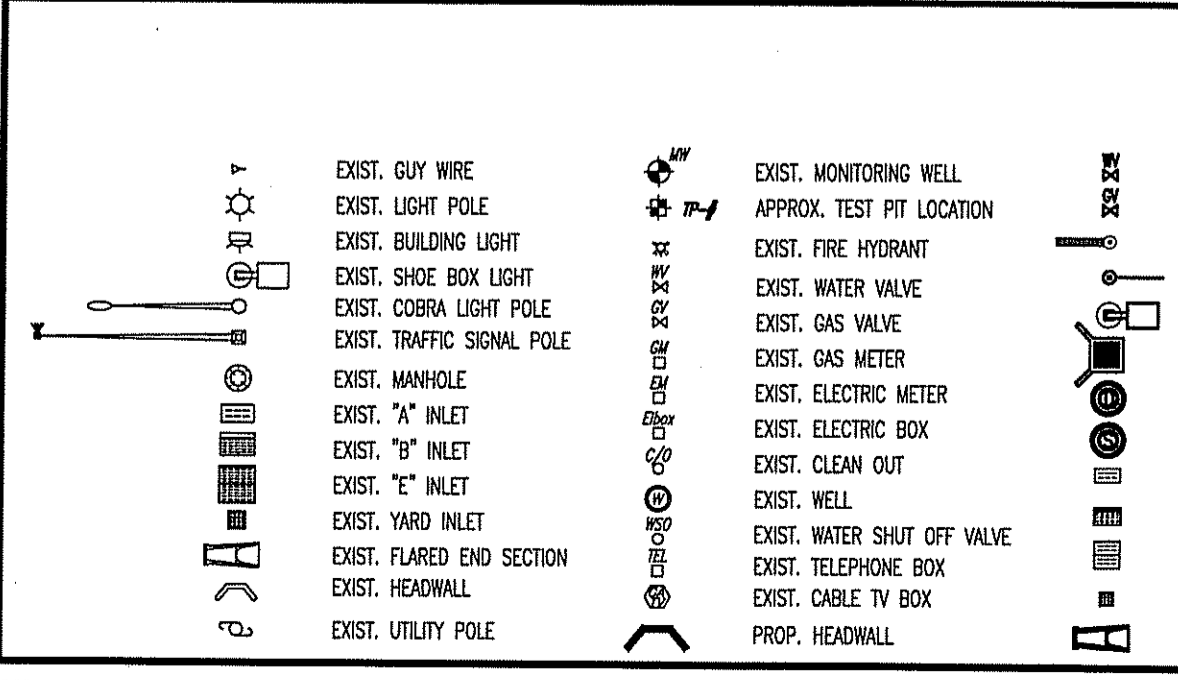
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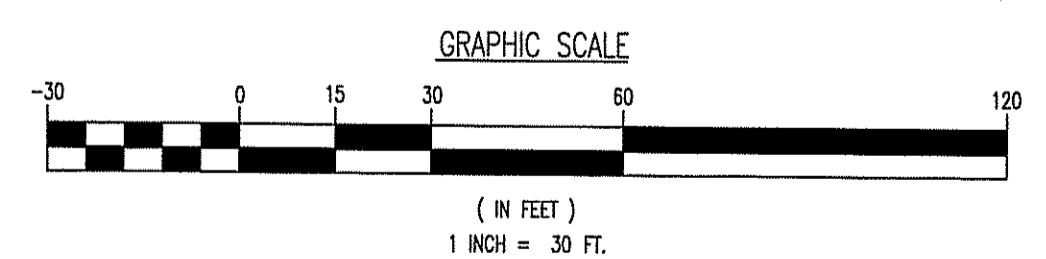
SEE SHEET 3 OF 19 FOR DRAINAGE PLAN NOTES



GRADING/UTILITY GRAPHIC LEGEND

PROP. WATER VALVE PROP. GAS VALVE PROP. STORM CLEANOUT PROP. SANITARY CLEANOUT PROP. AREA LIGHT PROP. OUTLET CONTROL STRUCTURE PROP. DRAINAGE MANHOLE PROP. SANITARY SEWER MANHOLE PROP. 'A' INLET PROP. 'B' INLET PROP. 'E' INLET PROP. YARD INLET PROP. FLARED END SECTION EXIST. UTILITY POLE	PROP. MONITORING WELL APPROX. TEST PIT LOCATION EXIST. FIRE HYDRANT EXIST. WATER VALVE EXIST. GAS VALVE EXIST. ELECTRIC METER EXIST. ELECTRIC BOX EXIST. CLEAN OUT EXIST. WELL EXIST. WATER SHUT OFF VALVE EXIST. TELEPHONE BOX EXIST. CABLE TV BOX PROP. HEADWALL	PROP. TYPE 'B' INLET STORM STR. #84 INV IN (24"): 125.00 GR: 125.00 INV IN (24"): 121.84 INV OUT (24"): 121.84	PROP. TYPE 'B' INLET STORM STR. #85 TC: 126.60 GR: 126.10 INV IN (18"): 122.69 INV IN (15"): 122.69 INV OUT (24"): 122.69	PROP. TYPE 'B' INLET STORM STR. #83 TC: 126.50 GR: 126.00 INV IN (15"): 123.14 INV OUT (15"): 123.14	PROP. TYPE 'B' INLET STORM STR. #79 TC: 126.50 GR: 126.00 INV IN (15"): 123.41 INV OUT (15"): 123.41	PROP. TYPE 'B' INLET STORM STR. #90 TC: 127.30 GR: 126.80 INV IN (15"): 124.36 INV OUT (15"): 124.36	PROP. TYPE 'B' INLET STORM STR. #81 TC: 127.30 GR: 126.80 INV IN (15"): 123.77 INV OUT (15"): 123.77
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BOUNDARY ROAD
(VARIABLE WIDTH ROW PER TAX MAP)
(45 MPH SPEED LIMIT)



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TITLE: DRAINAGE PLAN

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001 | DATE: 06/23/21
 DRAWN BY: GMC | SCALE: (1/8" = 1'-0")
 DESIGNED BY: RDM | SHEET No: 7
 CHECKED BY: JAP
 CHECKED BY: _____

JOHN A. PALUS | **RYAN McDERMOTT**
 PROFESSIONAL ENGINEER | PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41975 | NEW JERSEY LICENSE No. 56559

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INDUSTRIAL

SOCCER COMPLEX

VANDERBURG ROAD
(70' ROW WIDTH PER TAX MAP)
(45 MPH SPEED LIMIT)

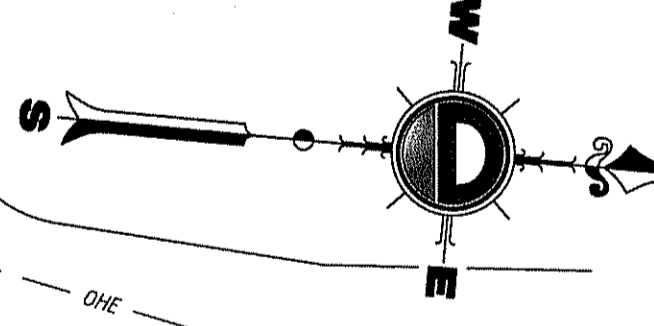
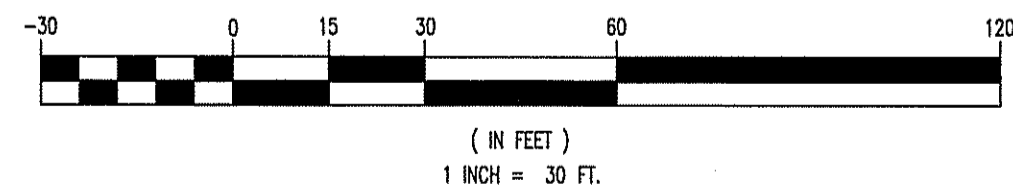
COMMERCIAL

BOUNDARY ROAD
(VARIABLE WIDTH ROW PER TAX MAP)
(45 MPH SPEED LIMIT)

OPEN LAND

RESIDENTIAL

GRAPHIC SCALE



SEE SHEET 3 OF 19 FOR LANDSCAPE PLAN NOTES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LANDSCAPE SCHEDULE					
SHADE TREES(S)					
AR	2	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL.	B+B
ORNAMENTAL TREES(S)					
ARR	1	AMELANCHIER ALNFOLIA 'RESENT'	MULTI STEM RESENT SERVICEBERRY	8-10'	B+B
AG	1	ACER GINNOLA	AMUR MAPLE	8-10'	B+B
CF	2	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	2-2 1/2" CAL.	B+B
EVERGREEN TREES(S)					
CLY	38	X CUPRESSOPHYAS LEXLANDII	LEYLAND CYPRESS	6-7'	B+B
PIAB	32	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B
EVERGREEN SHRUB(S)					
IGS	111	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	#5 CAN
JCS	78	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	3-4'	B+B
VR	55	VBURNUM X RHYTHIDOPHYLLUM	LEATHERLEAF VBURNUM	3-4'	B+B
DECIDUOUS SHRUB(S)					
HXI	69	HAMMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD WITCHHAZEL	3-4'	B+B
MP	68	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36"	B+B
GROUND COVER					
JCBP	11	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	15-18" SPRD.	#3 CAN

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

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 10000 Old York Road, Suite 200, Newark, NJ 07102

TITLE: **LANDSCAPE PLAN**

PROJECT: **STACK STORAGE, LLC
PROPOSED SELF STORAGE**
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001 DATE: 06/15/21
 DRAWN BY: MFZ SCALE: AS SHOWN
 DESIGNED BY: RDM SHEET: 06/19
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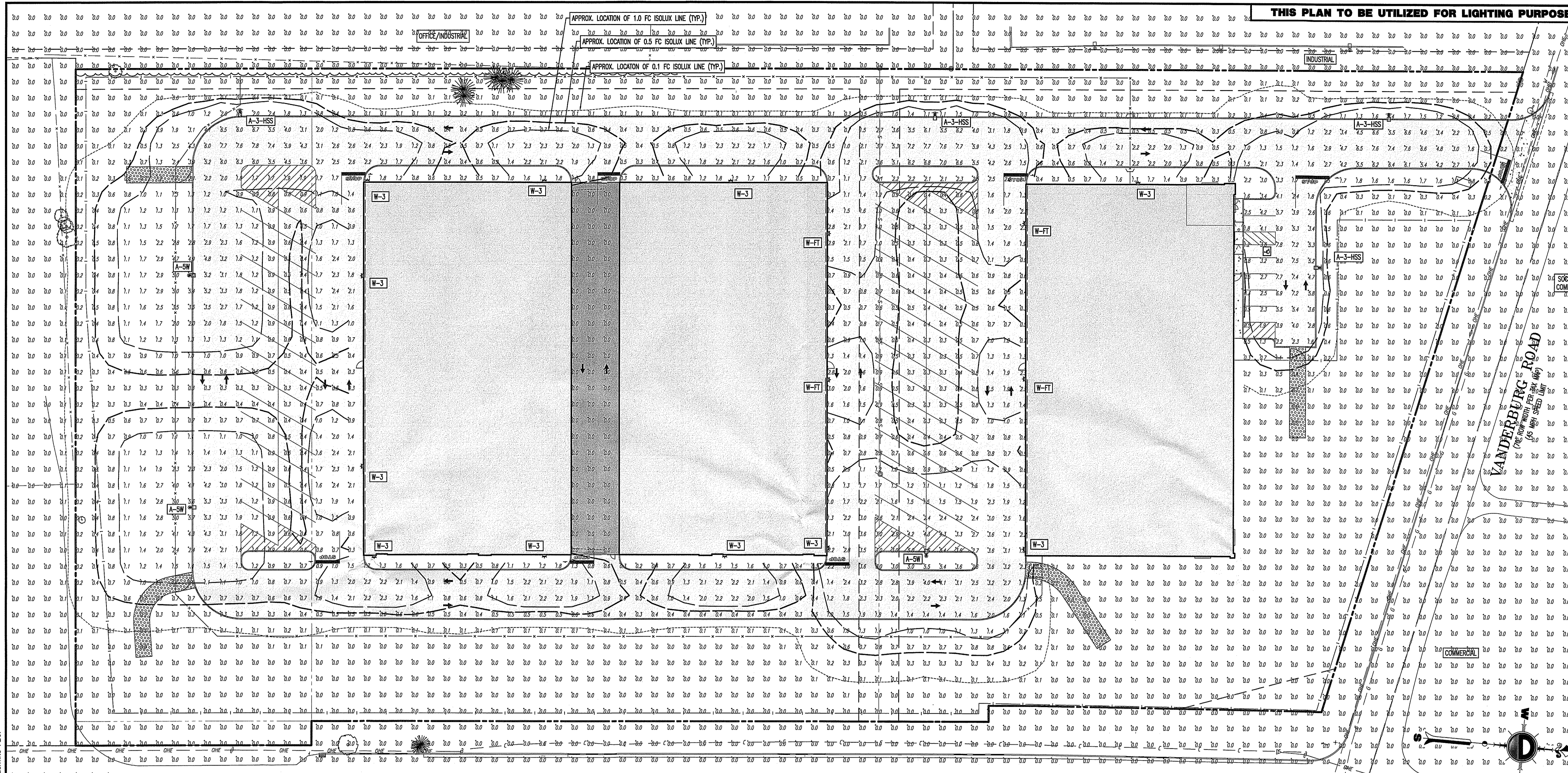
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NEW JERSEY LICENSE No. 56559

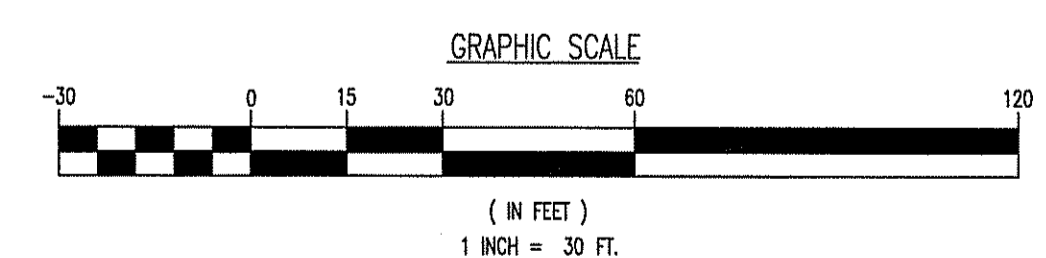
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THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



BOUNDARY ROAD
(VARIABLE WIDTH ROW PER TAX MAP)
(45 MPH SPEED LIMIT)



LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	3	A-5W	187	20 FT	SINGLE	1.000	LSI INDUSTRIES, INC.	TYPE 5 AREA LIGHT	MRM-LED-24L-SL-5W-40-70CRI
	4	A-3-HSS	187	20 FT	SINGLE	1.000	LSI INDUSTRIES, INC.	TYPE 3 AREA LIGHT WITH SHIELD	MRM-LED-24L-SL-3-40-70CRI-L
	12	W-3	44.7	18 FT	SINGLE	1.000	LSI INDUSTRIES, INC.	TYPE 3 WALL MOUNTED LIGHT	XIM-3-LED-06L-40
	4	W-FT	44.7	18 FT	SINGLE	1.000	LSI INDUSTRIES, INC.	FORWARD THROW WALL MOUNTED LIGHT	XIM-FT-LED-06L-40

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
(FH) - FLUSH MOUNT FOUNDATION (FED) - FEDESTAL FOUNDATION
THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
FOOTC	0.86	8.0	0.0	N.A.	N.A.	LIGHT LEVELS WITHIN PROPERTY LINES
PAVEMENT AREA	1.67	8.0	0.3	5.57	26.67	LIGHT LEVELS WITHIN PAVEMENT AREA

SEE SHEET 3 OF 19 FOR LIGHTING PLAN NOTES

SEE SHEET 17 OF 19 FOR LIGHTING PLAN DETAILS

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TITLE: **LIGHTING PLAN**

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
BLOCK 350, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

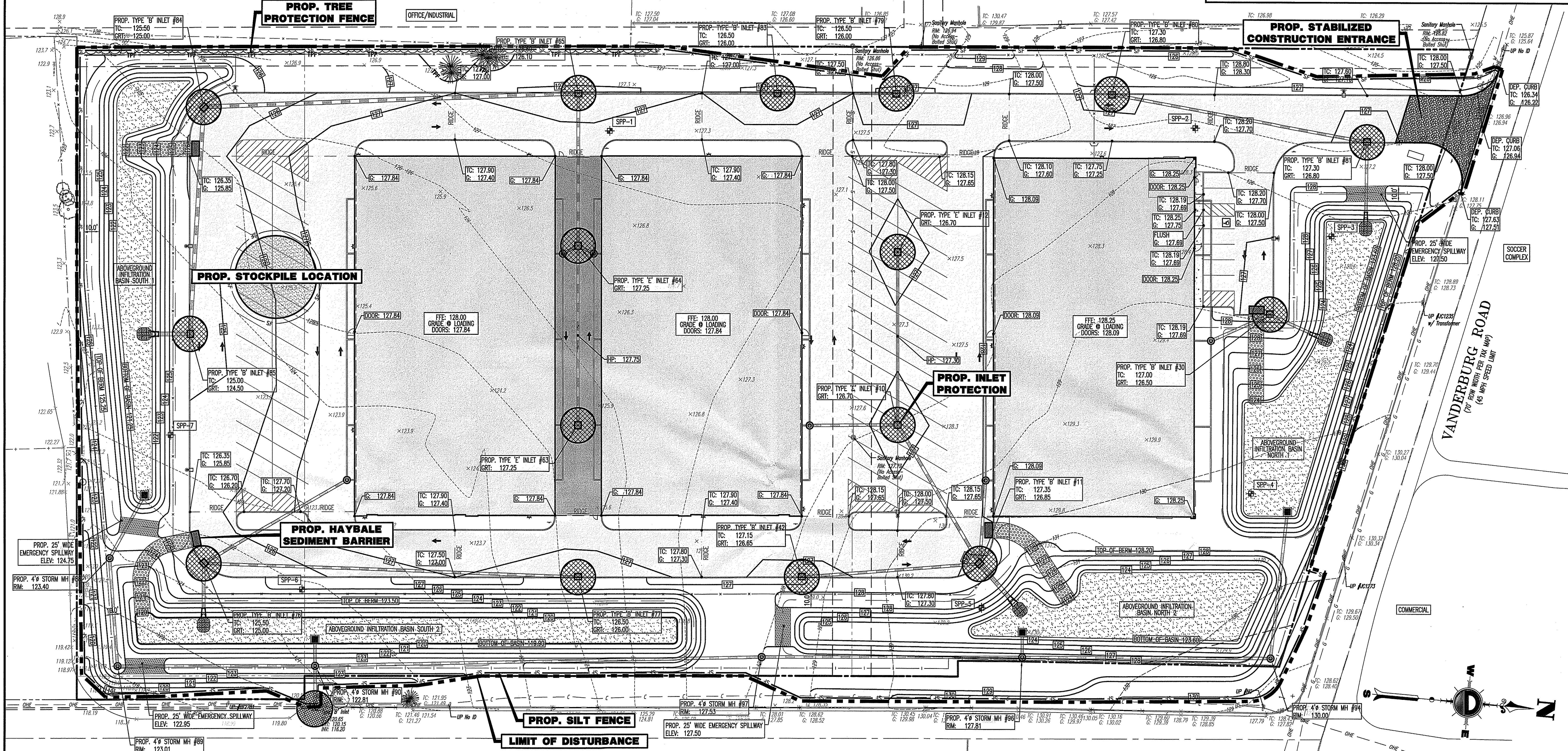
RYAN MCDERMOTT
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 56559

DATE: 06/21/21
JOB No: 3724-99-001
DRAWN BY: MFZ
DESIGNED BY: RDM
CHECKED BY: JAP

SCALE: (1/4" = 1'-0")
SHEET NO. 1

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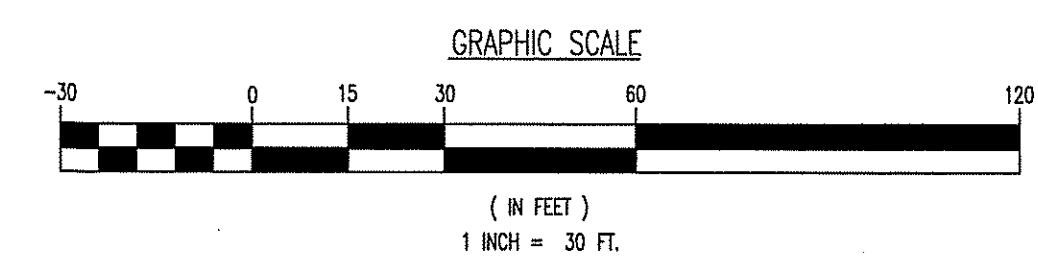


LIMIT OF DISTURBANCE = 346,024 SF. (7.943 Ac.)

SEE SHEET 13 OF 19 FOR SOIL EROSION & SEDIMENT CONTROL PLAN NOTES & DETAILS

EROSION CONTROL LEGEND

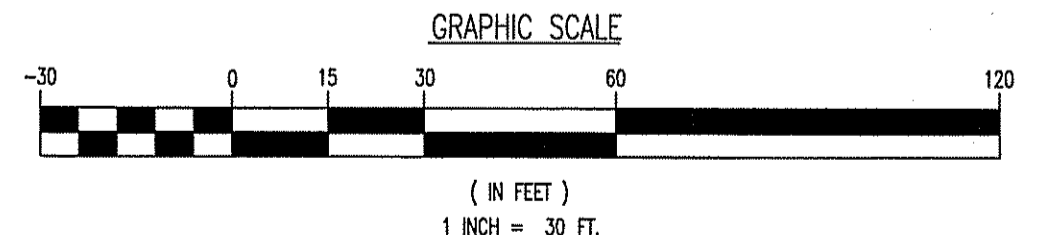
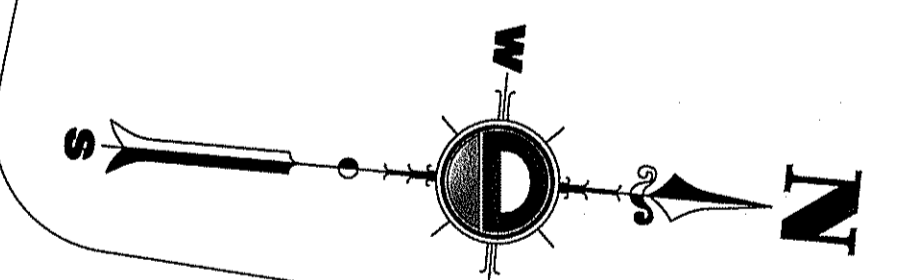
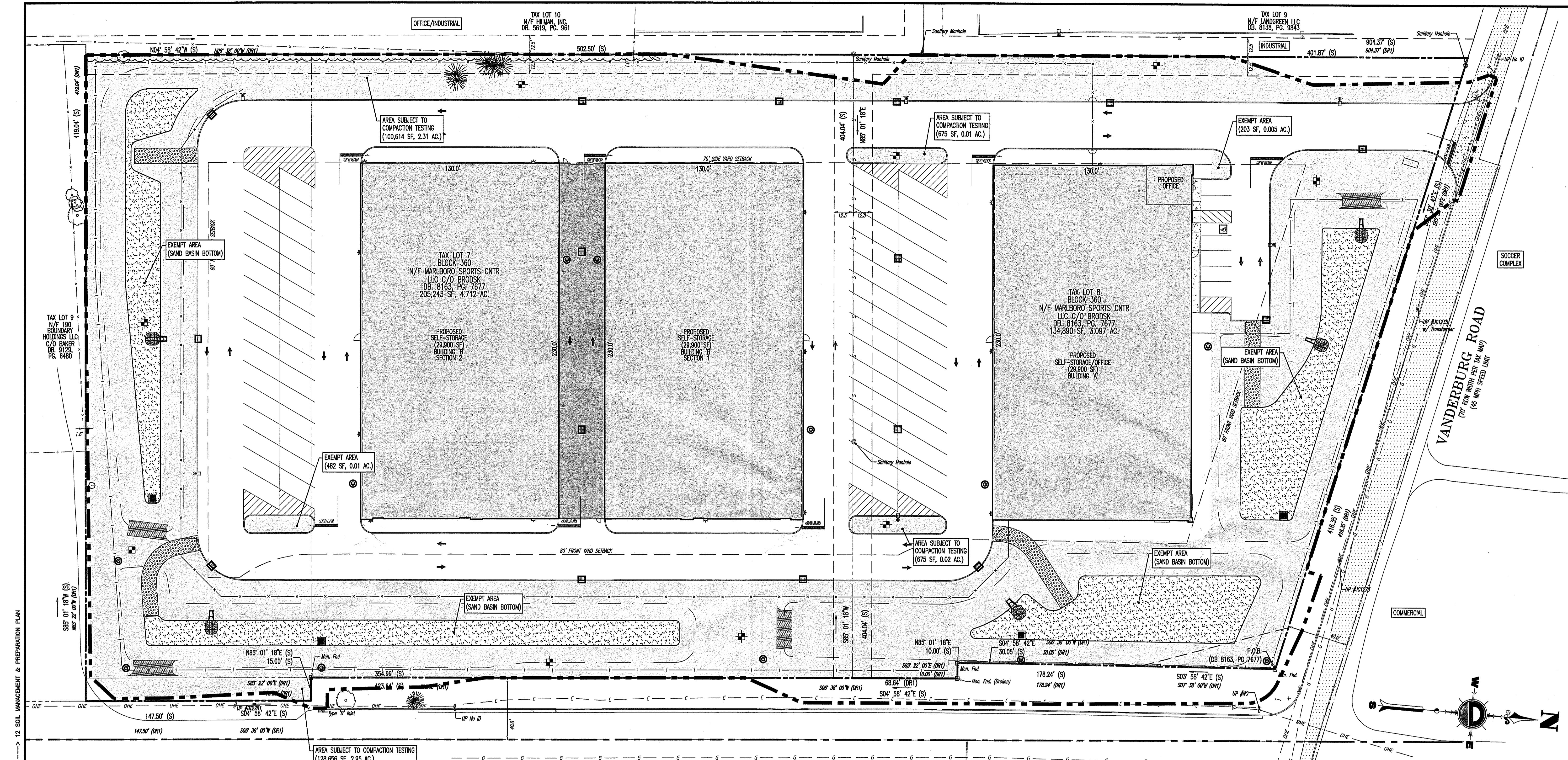
- PROP. LIMIT OF DISTURBANCE LINE
- - - - PROP. SILT FENCE LINE
- - - - PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER



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<p>TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN</p>	
<p>PROJECT: STACK STORAGE, LLC PROPOSED SELF STORAGE</p>	
<p>BLOCK 360, LOTS 7 & 8 VANDERBURG ROAD & BOUNDARY ROAD MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY</p>	
<p>JOB No: 3724-99-001 DATE: 08/23/2021</p>	<p>SCALE: (H) 1"=30' SHEET No: 11 OF 19</p>
<p>DESIGNED BY: MFZ CHECKED BY: RDM</p>	<p>CHECKED BY: JAP</p>
<p>JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975</p>	<p>RYAN MCDERMOTT PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56559</p>
<p>PROTECT YOURSELF ALL STATE REQUIREMENTS OF EDUCATION, EXPERIENCE, AND EXAMINATION TO OBTAIN THE ENGINEER'S LICENSE ARE STRICTLY ENFORCED. FOR STATE SPECIFIC BUREAU PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	

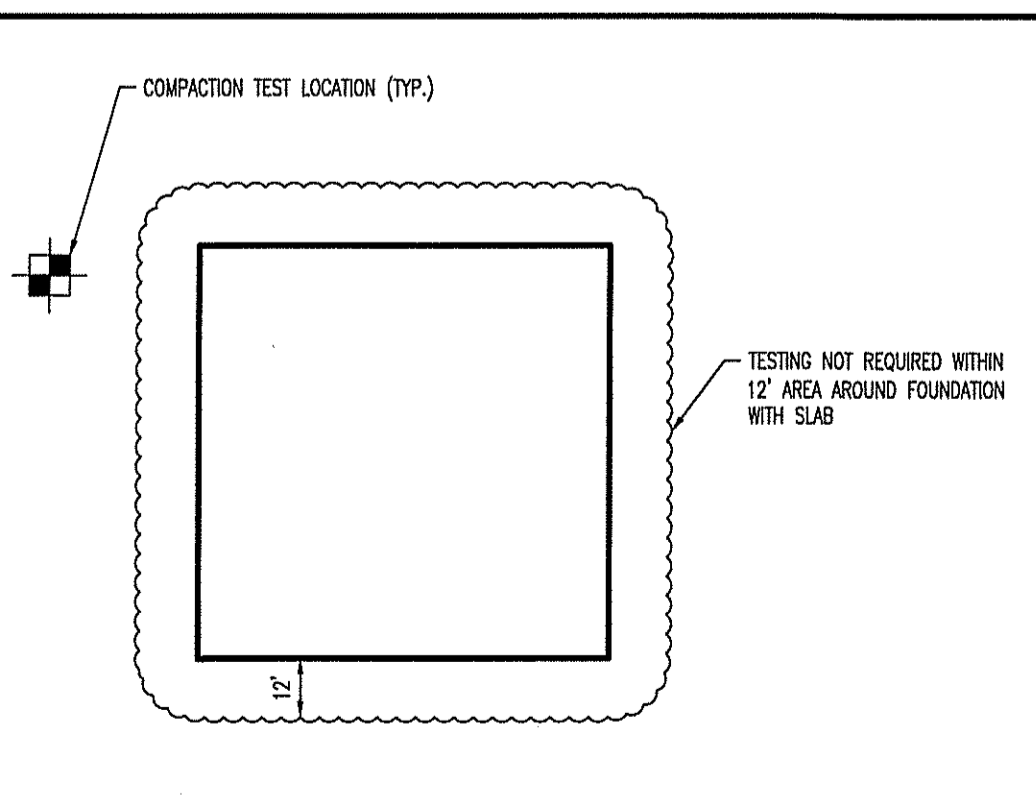
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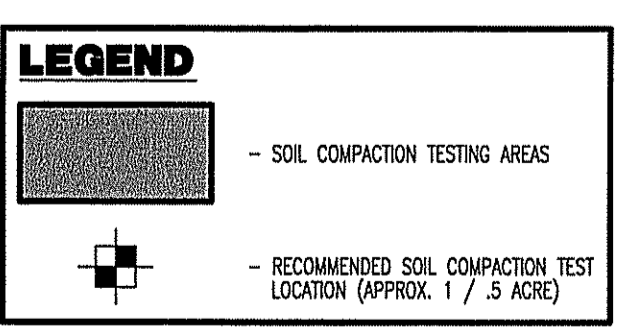
BOUNDARY ROAD
(VARIABLE WIDTH ROW PER TAX MAP)
(45 MPH SPEED LIMIT)

SEE SHEET 13 OF 19 FOR SOIL MANAGEMENT & PREPARATION PLAN NOTES

- SOIL COMPACTION MITIGATION NOTES**
1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.
 3. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE @ MINIMUM DEPTH) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.



TYPICAL SOIL COMPACTION TESTING LOCATION DETAIL



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Newtown, Pennsylvania T: 267.685.0276 | Philadelphia, Pennsylvania T: 215.253.4898 | Bethlehem, Pennsylvania T: 412.998.4400

TITLE: **SOIL MANAGEMENT & PREPARATION PLAN**

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001 DATE: 06/23/2021
DRAWN BY: MFZ SCALE: (H) 1"=30'
(V)
DESIGNED BY: RDM SHEET No:
CHECKED BY: JAP
CHECKED BY: _____

JOHN A. PALUS **RYAN MCDERMOTT**
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56559

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SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING.
- PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
- PHASE 3: EXCAVATION, CONSTRUCTION, AND STABILIZATION OF DETENTION BASIN(S), EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
- PHASE 4: EXCAVATE FOR BUILDING FOUNDATION.
- PHASE 5: COMPLETE BUILDING CONSTRUCTION.
- PHASE 6: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.
- PHASE 7: FINAL GRADING ON SITE.
- PHASE 8: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.

**FREEHOLD SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.A.C. 6A-26 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DRAINAGING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DRAINAGING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DRAINAGING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DRAINAGING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:
 - APPLY TOPSOIL IN A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES. MINIMUM OF 4.0 INCHES, FIRMED IN PLACE IS REQUIRED. IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
 - APPLY GROUND LIMESTONE UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - APPLY FERTILIZER (10-10-10) AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET
 - WORK LINE AND FERTILIZER 4.0 INCHES INTO THE SOIL.
 - EAPPLY SEED AT A RATE OF:
 - APPLY MULCH AT A RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET.
 - ANCHOR MULCH BY ONE OF THE APPROVED METHODS (LIQUID MULCH BINDER, CRIMPING, PEG AND TWINE).
- STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION:
 - APPLY GROUND LIMESTONE UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - APPLY FERTILIZER (10-20-10) AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET
 - WORK LINE AND FERTILIZER 4.0 INCHES INTO THE SOIL.
 - APPLY SEED AT A RATE OF:
 - APPLY MULCH AT A RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET.
 - ANCHOR MULCH BY ONE OF THE APPROVED METHODS (LIQUID MULCH BINDER, CRIMPING, PEG AND TWINE).
- STANDARD FOR STABILIZATION WITH MULCH ONLY:
 - NON-GROWING SEASON STABILIZATION OF EXPOSED AREAS WHERE THE ESTABLISHMENT OF VEGETATION IS PLANNED AS THE FINAL CONTROL MEASURE.
 - UNROTTEN SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDER, OR NETTING THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEDER.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - CRUSHED CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
 - MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES:
 - PEG AND TWINE
 - MULCH NETTINGS
 - CRIMPING MULCH ANCHORING COUPLER TOOL
 - LIQUID MULCH-BINDERS

STANDARD FOR DUST CONTROL

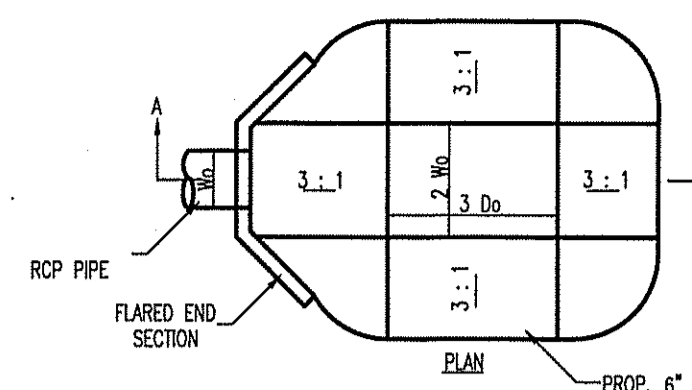
DEFINITION - THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.
PURPOSE - TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-AND OFF- SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
WHERE APPLICABLE - THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY.
VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOO.
SPRAY-ON ADDITIVES - ON MINERAL SOILS (NOT EFFECTIVE ON ROCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT	7:1	COARSE SPRAY	1,200
EMULSION			
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

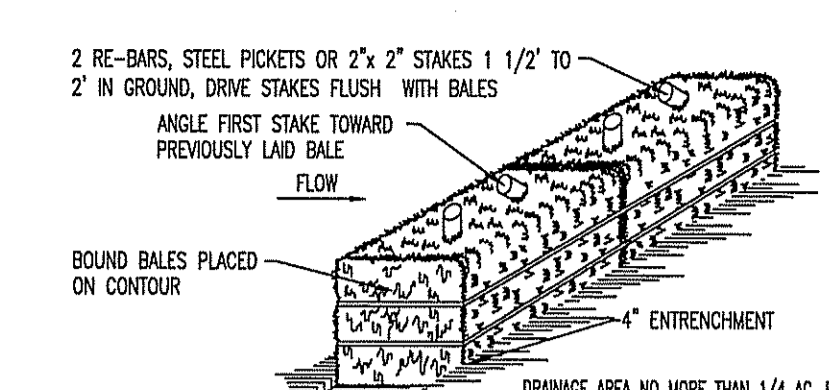
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART, AND SPRING - TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
BARBERS - SOLID BOARD FENCES, SNOW FENCES, BURGLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEED CHART

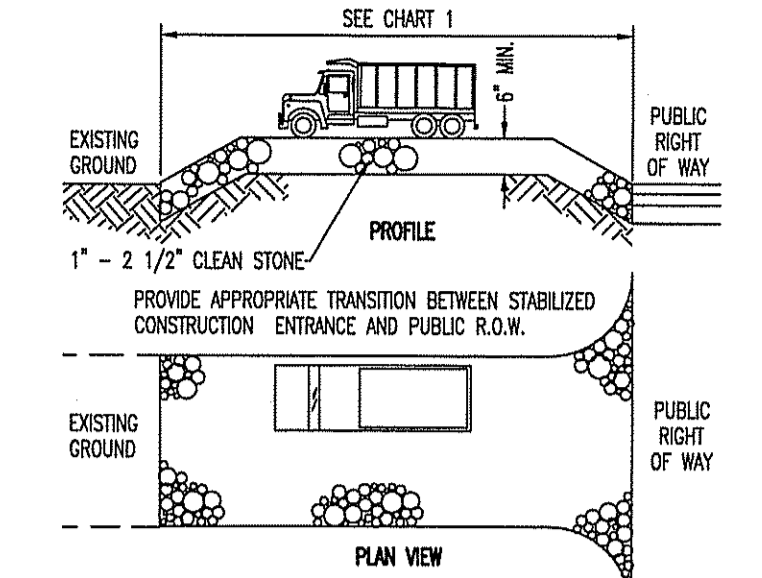
SEED AREA	SEED - STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY (TABLE 4-3)	COMPOSITION/ COMMON NAME	SEEDING RATE (LBS PER ACRE)
DETENTION BASIN (INTERIOR SIDE SLOPES ONLY)	COOL SEASON SEED MIXTURE #9 (NATIVE WET MIX)	DERRITOUNGE RESTOR WILD RYE (ELEMUS) SWITCHGRASS	20 LBS PER ACRE 2 LBS PER ACRE 15 LBS PER ACRE 25 LBS PER ACRE
LAWN AREA	COOL SEASON SEED MIXTURE #13 (GENERAL LAWN/RECREATION)	HARD FESCUE RED FESCUE PERENNIAL GRASS KENTUCKY BLUEGRASS	175 LBS PER ACRE 175 LBS PER ACRE 45 LBS PER ACRE 45 LBS PER ACRE



PREFORMED SCOUR HOLE DETAIL
NOT TO SCALE



HAYBALE SEDIMENT BARRIER DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

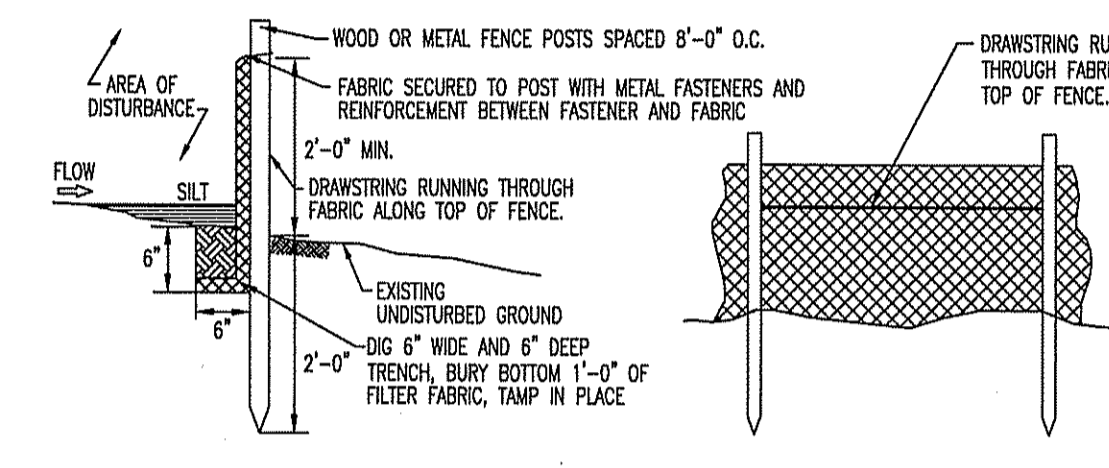
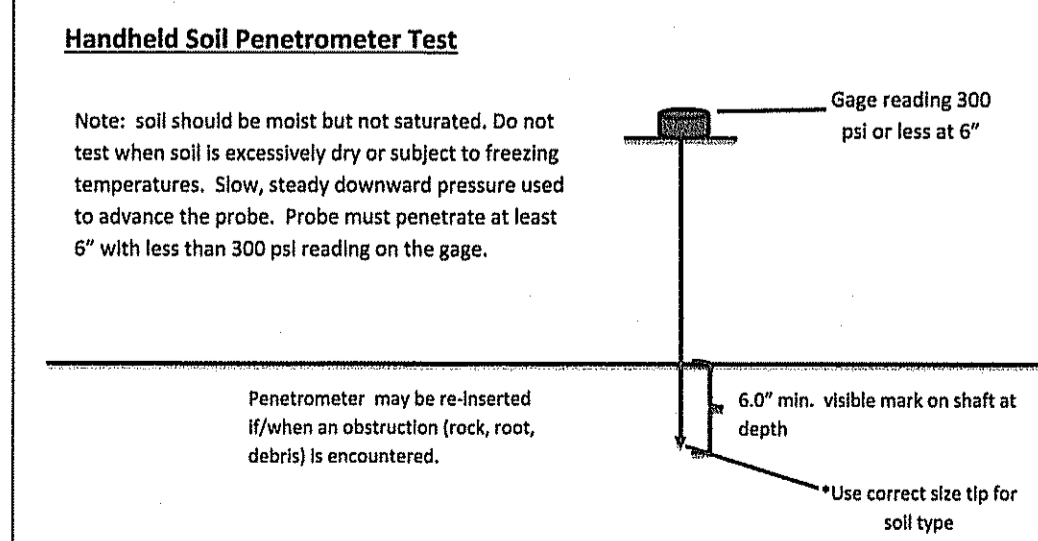
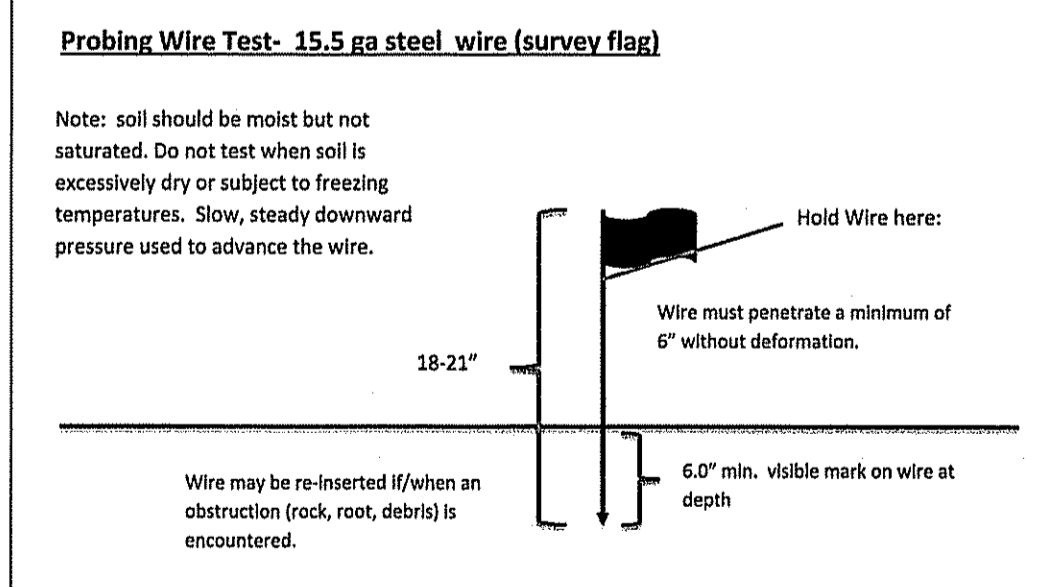
- Probing Wire Test (see detail)
- Hand-held Penetrometer Test (see detail)
- Tube Bulk Density Test (licensed professional engineer required)
- Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

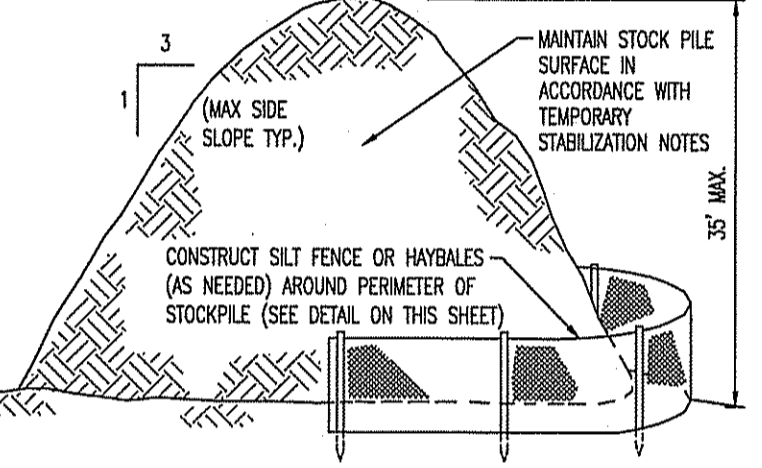
Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.
Restoration of compacted soils shall be through deep scarification/tillage (6\"/>

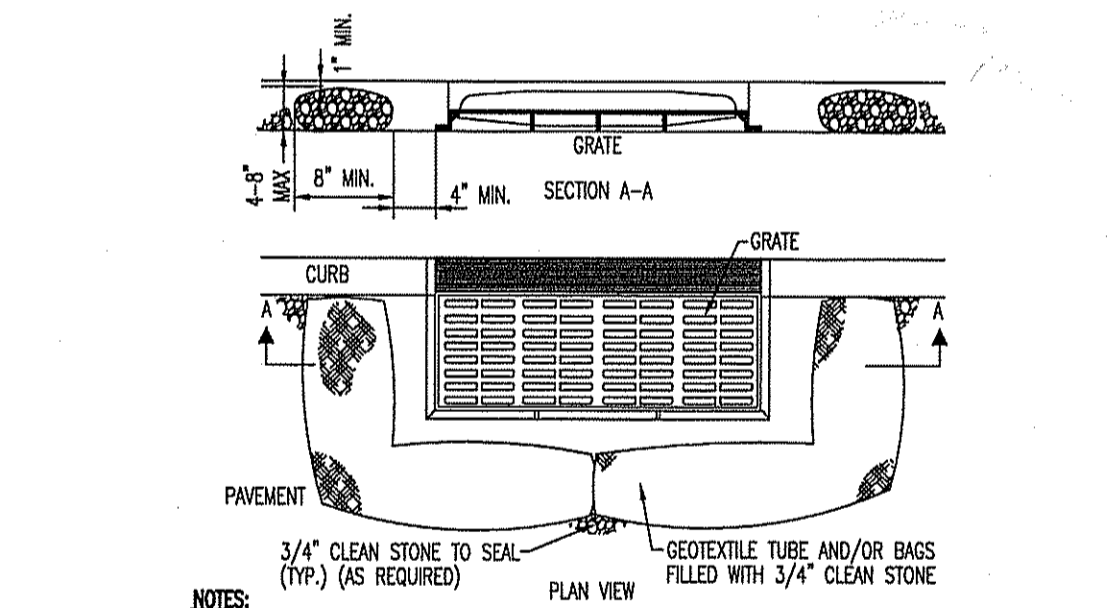
Simplified Testing Methods



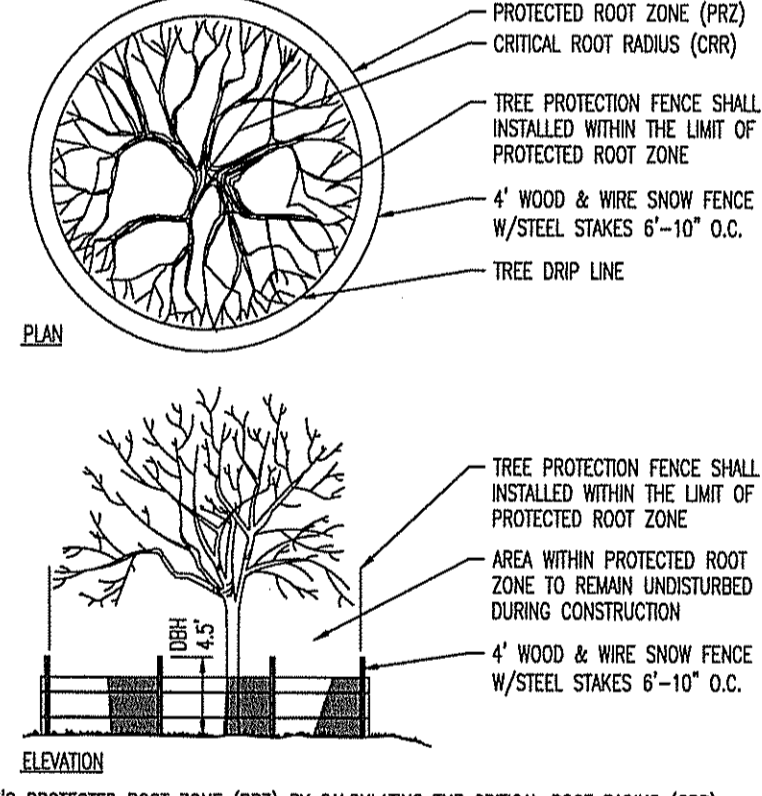
SILT FENCE DETAIL
NOT TO SCALE



TEMPORARY STOCKPILE DETAIL
NOT TO SCALE



INLET FILTER DETAIL
NOT TO SCALE



TREE PROTECTION DURING SITE CONSTRUCTION DETAIL
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NEWTON, PENNSYLVANIA T: 267.685.0276 | PHILADELPHIA, PENNSYLVANIA T: 215.253.4668 | BETHLEHEM, PENNSYLVANIA T: 610.592.4400

TITLE: **SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS**

PROJECT: **STACK STORAGE, LLC
PROPOSED SELF STORAGE**
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001 DATE: 06/23/2021
DRAWN BY: MFZ SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: RDM SHEET No:
CHECKED BY: JAP
CHECKED BY: -

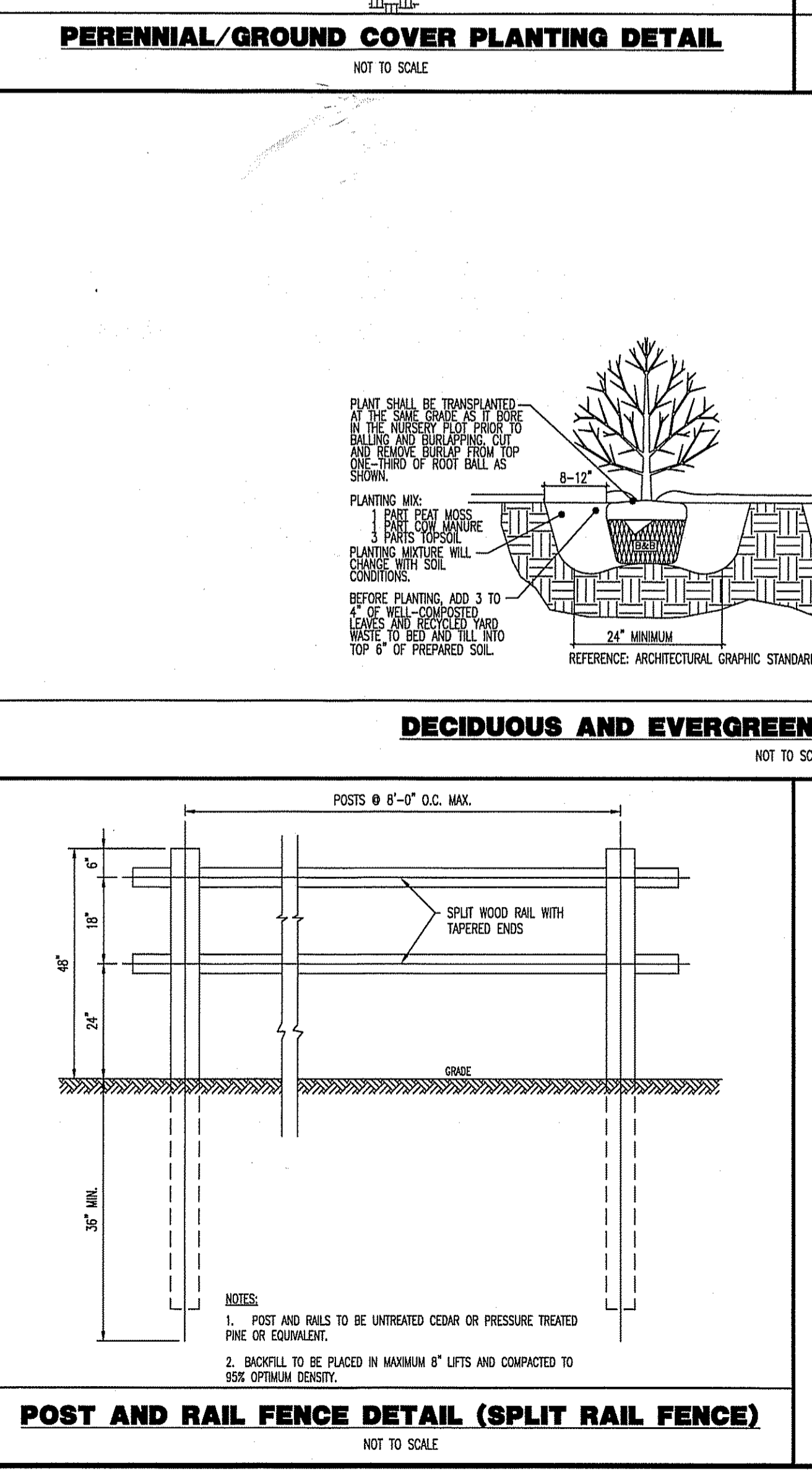
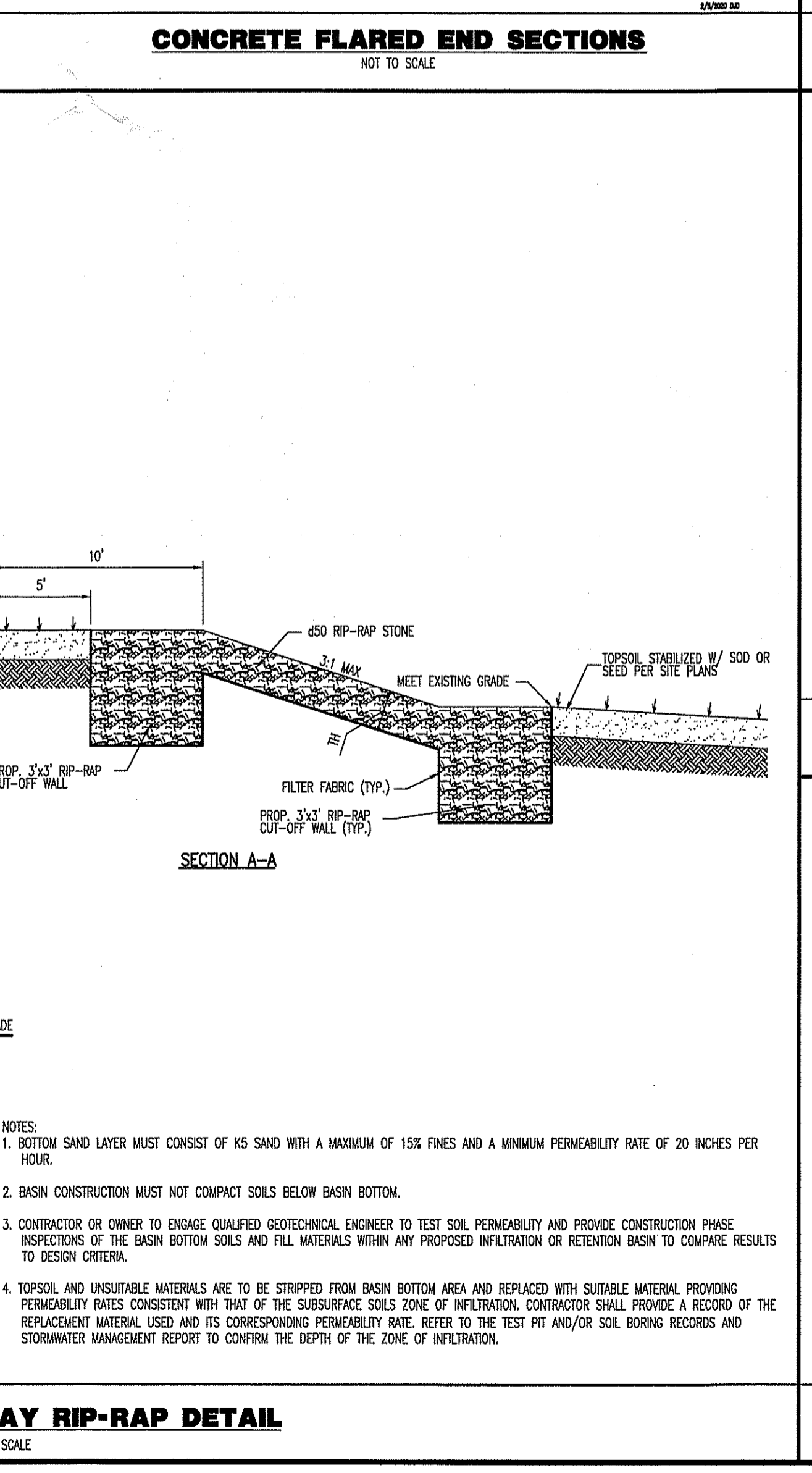
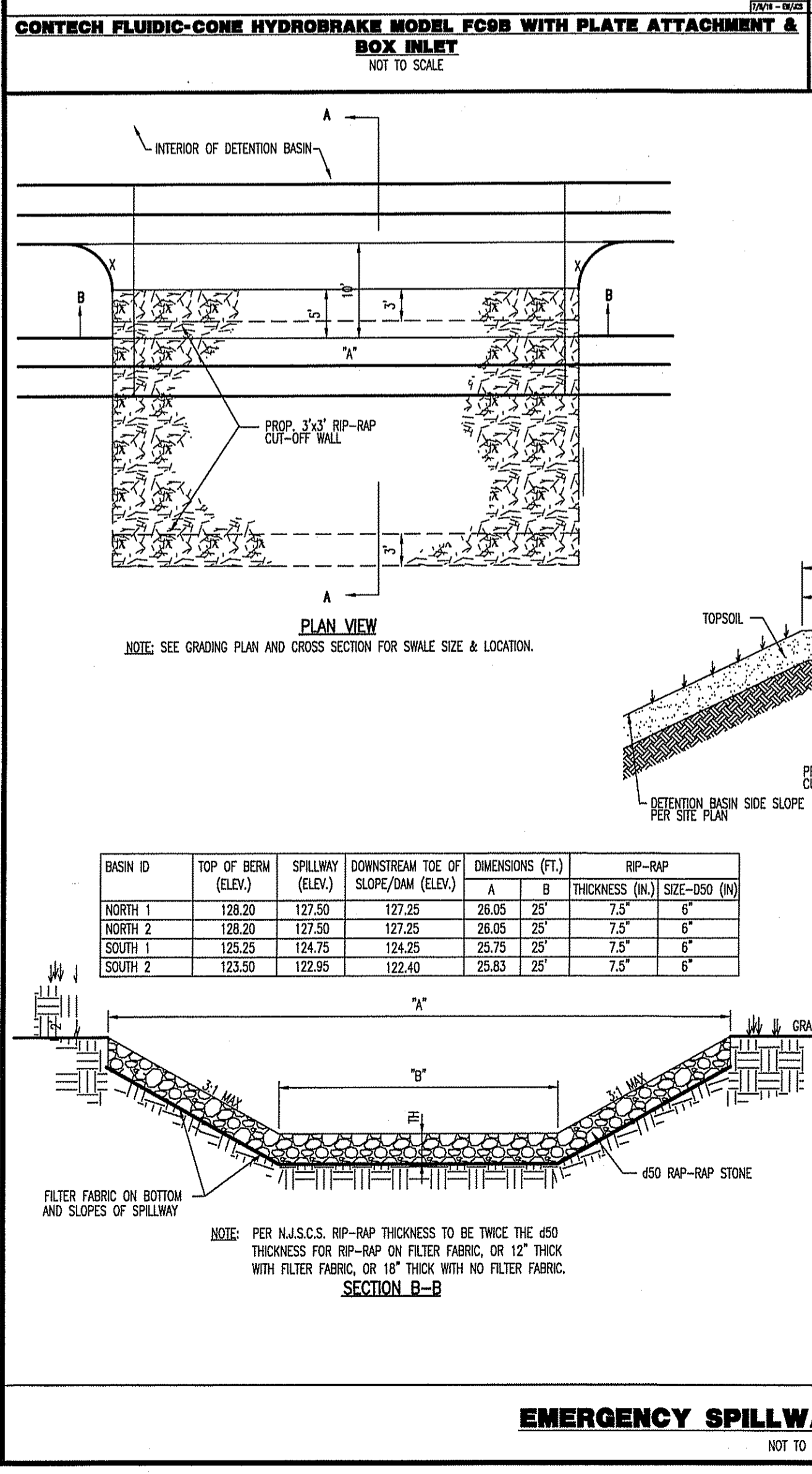
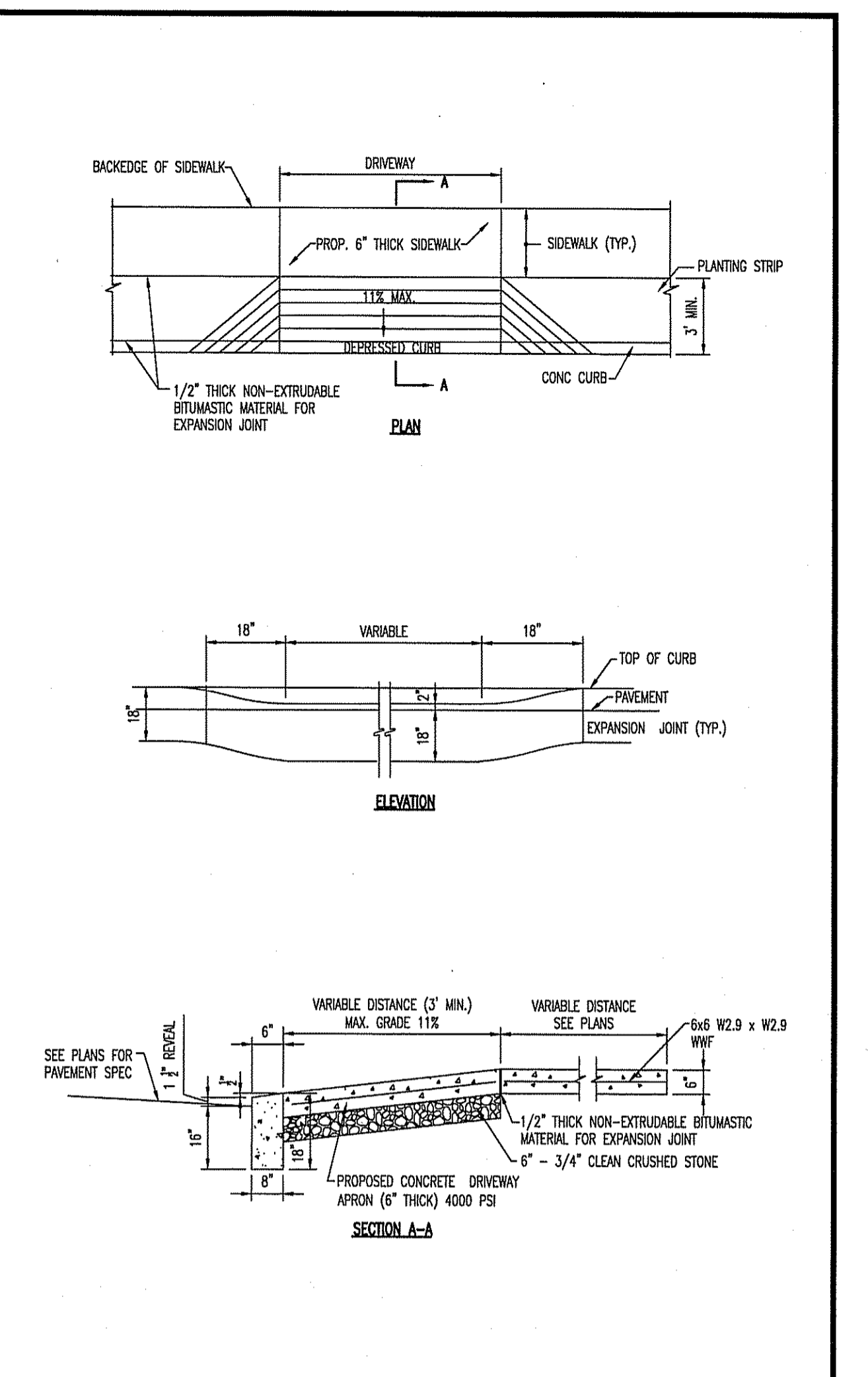
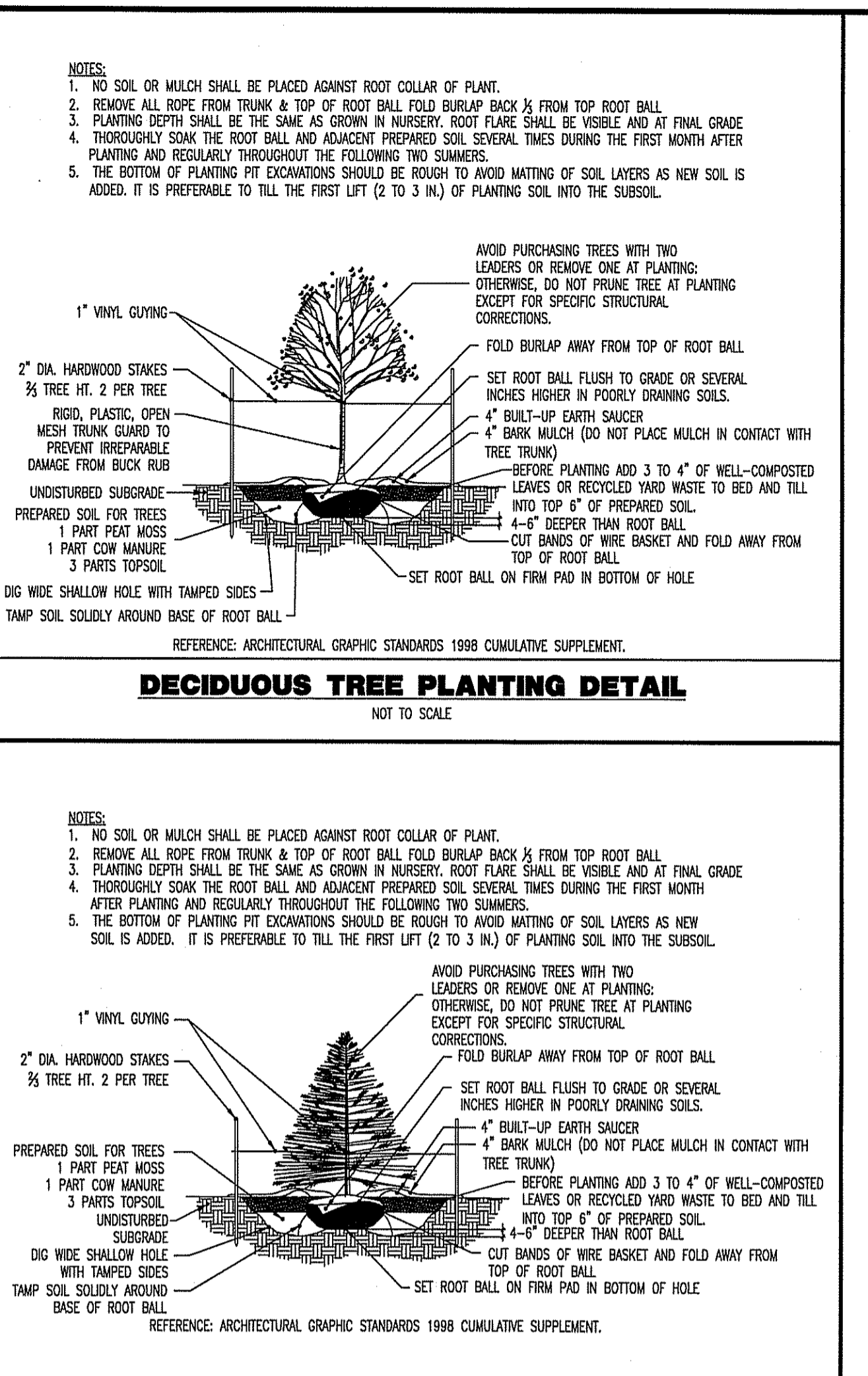
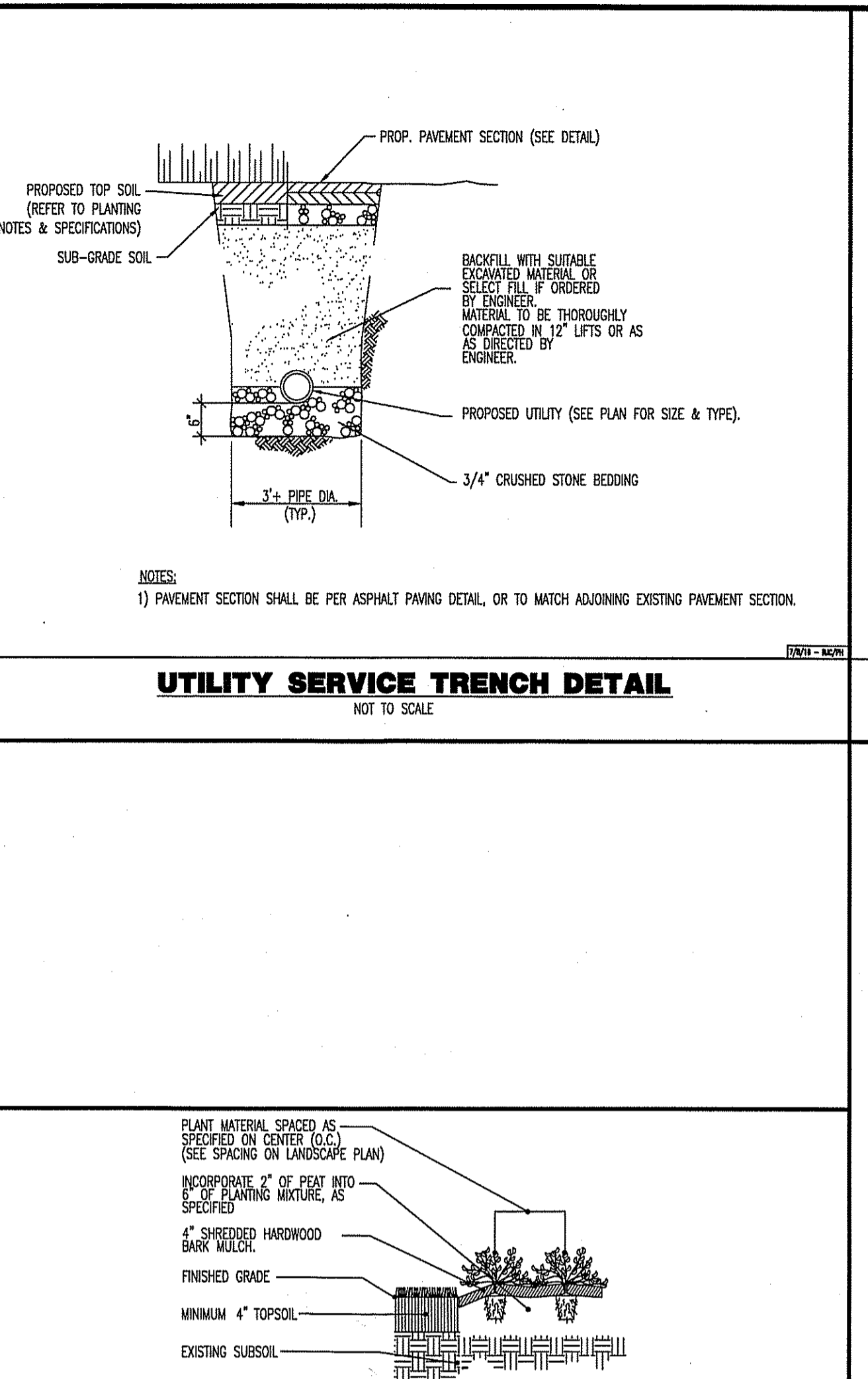
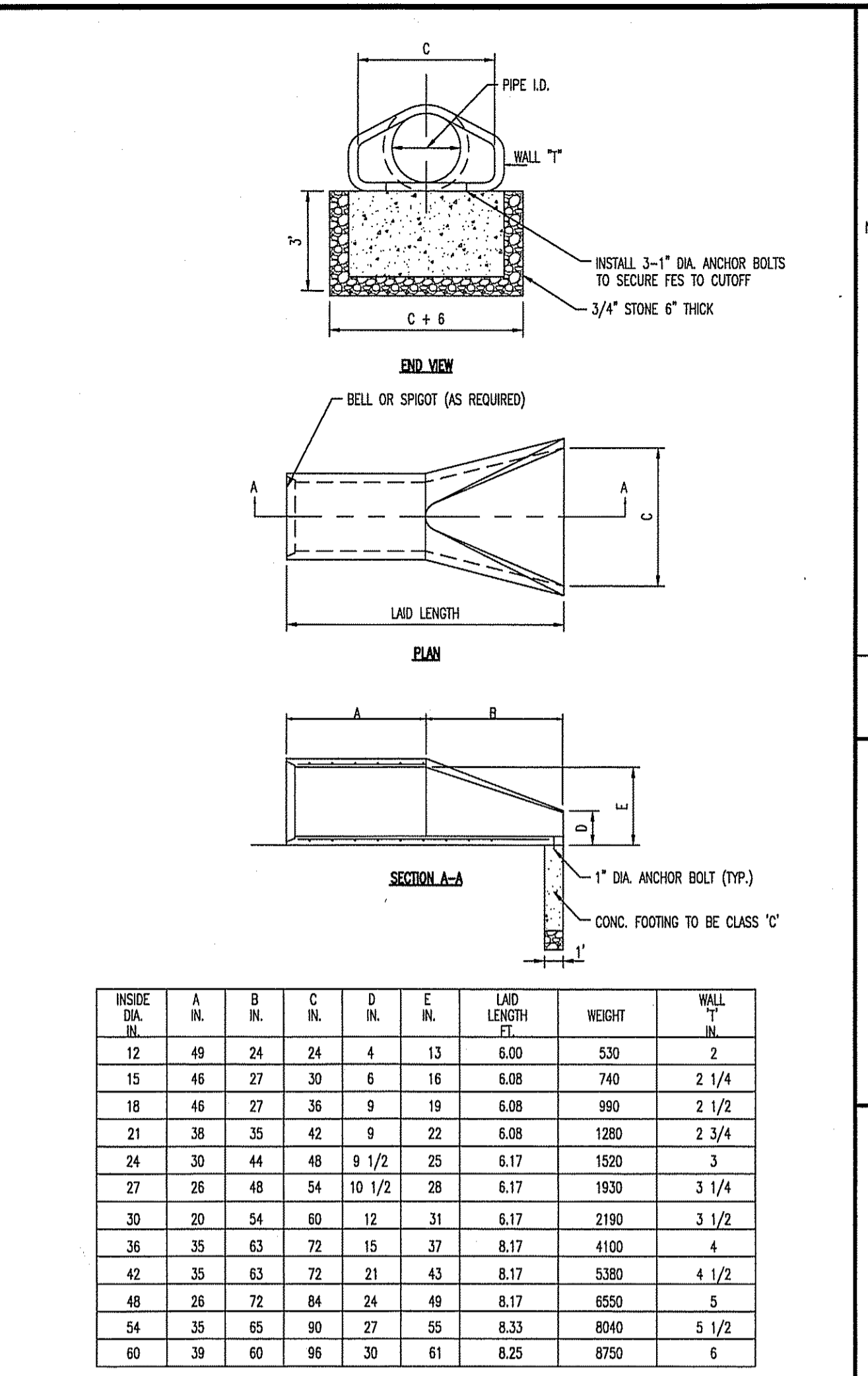
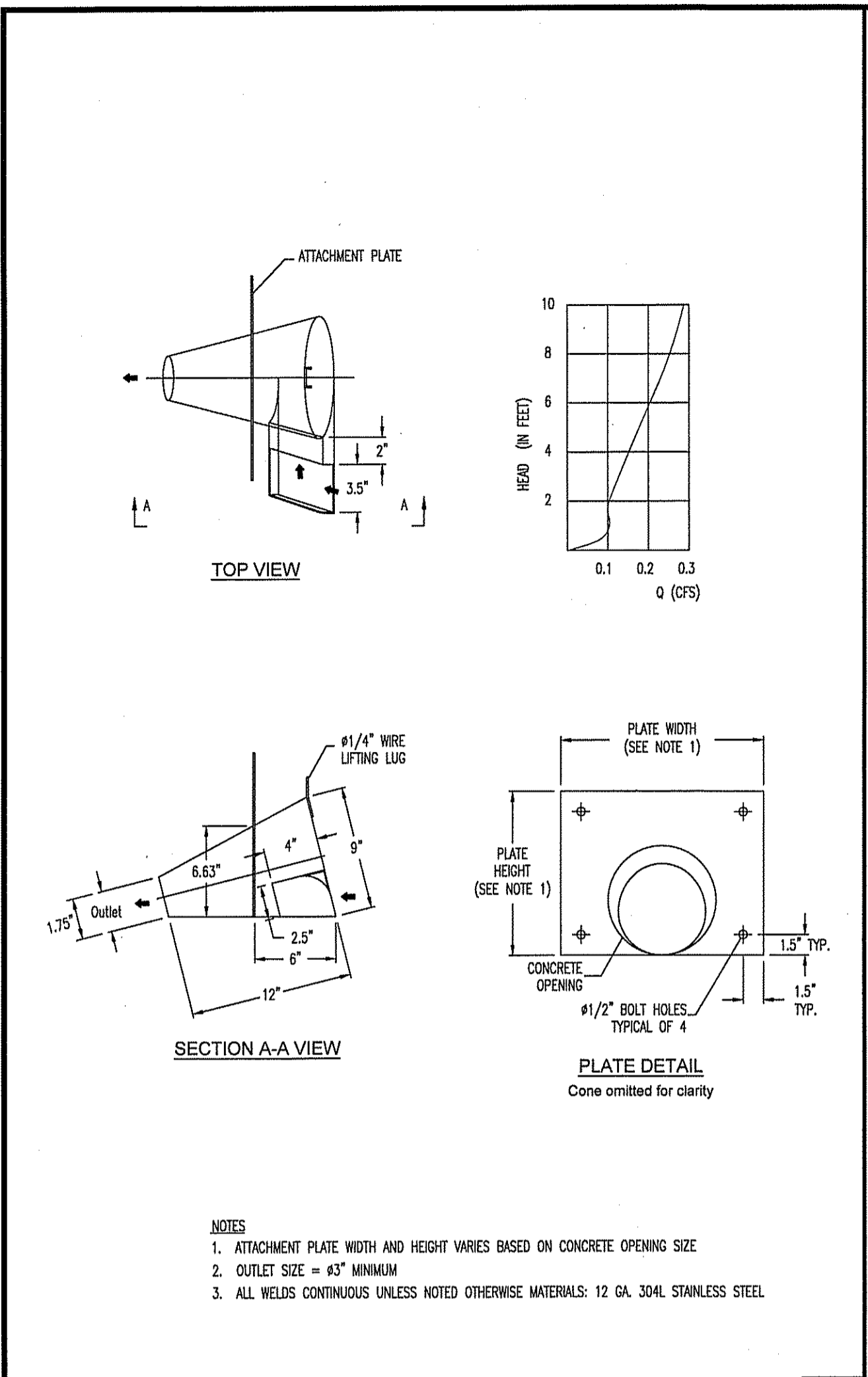
JOHN A. PALUS PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

RYAN MCDERMOTT PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56559

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Product Ver: 24.0n (LMS Tech) File: P:\DECFC PROJECTS\1724_Phy_Storage_V16_Site Plans\0372499001SD.Dwg, 13 SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS



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CONSTRUCTION DETAILS

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PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

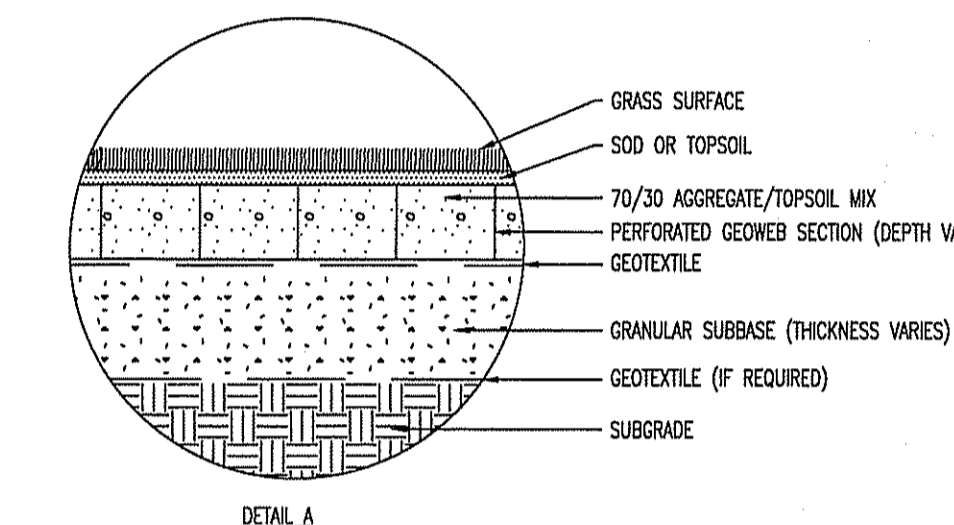
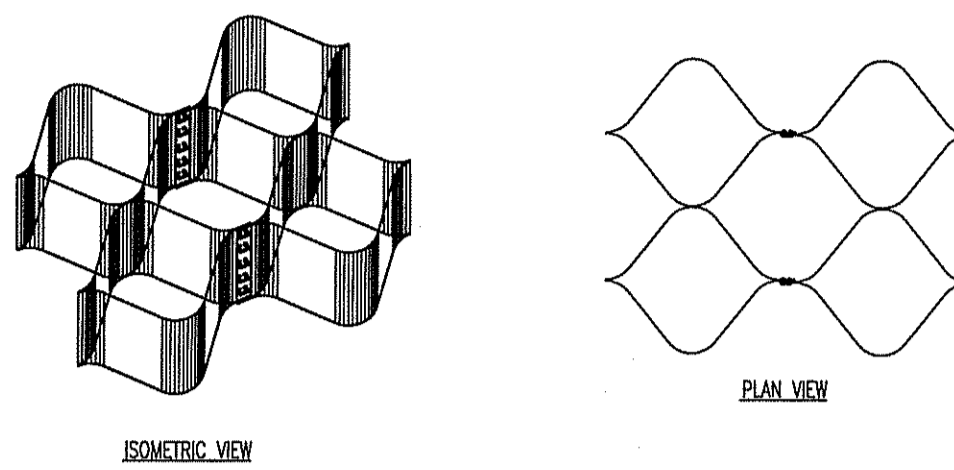
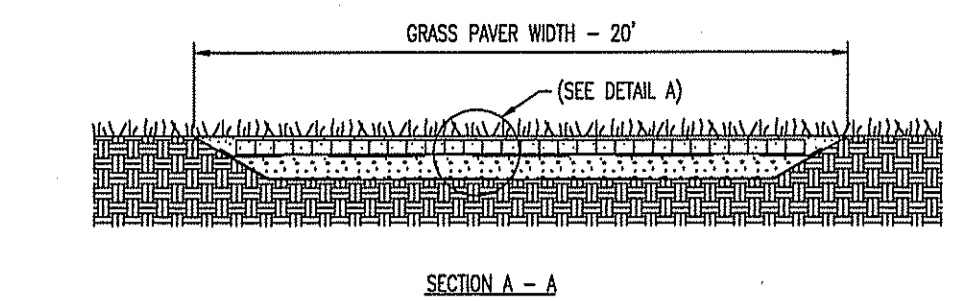
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DATE: 05/23/2021
DRAWN BY: MFZ
SCALE: (H) NOT TO SCALE
DESIGNED BY: RDM
SHEET No:
CHECKED BY: JAP
DATE: 05/23/2021

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

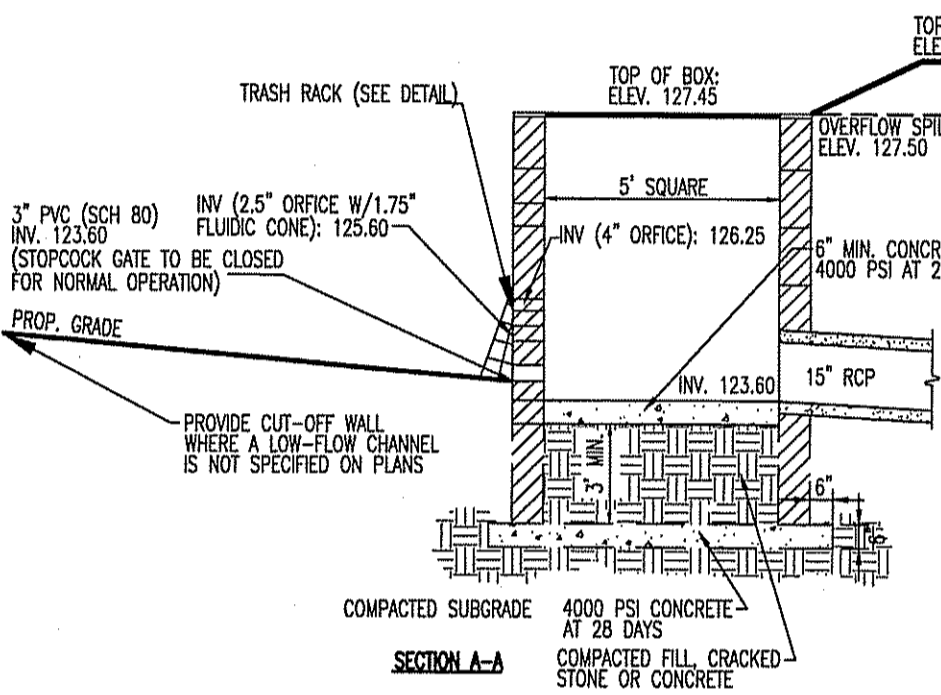
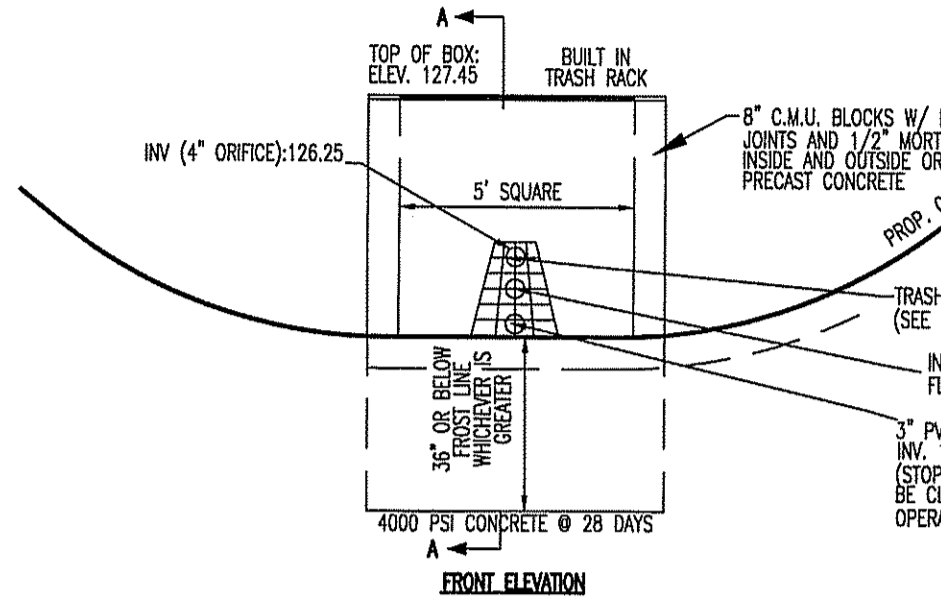
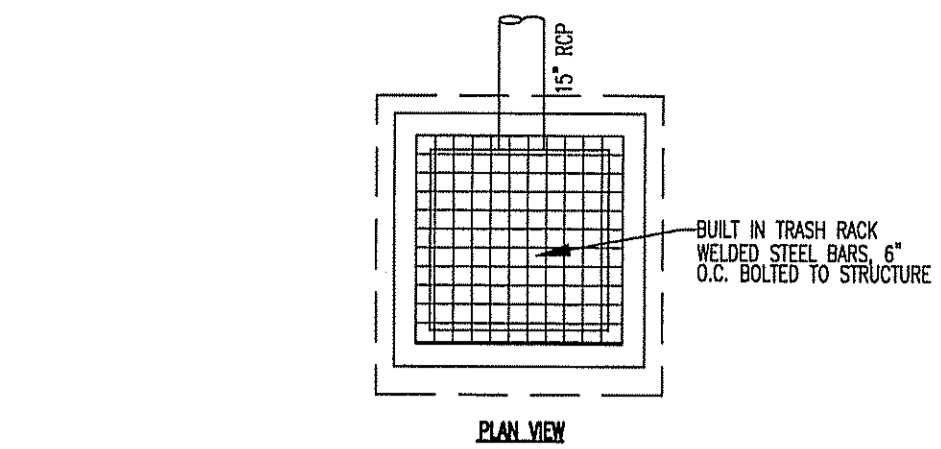
RYAN MCDERMOTT
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56559

15
OF 19
Rev. # 0

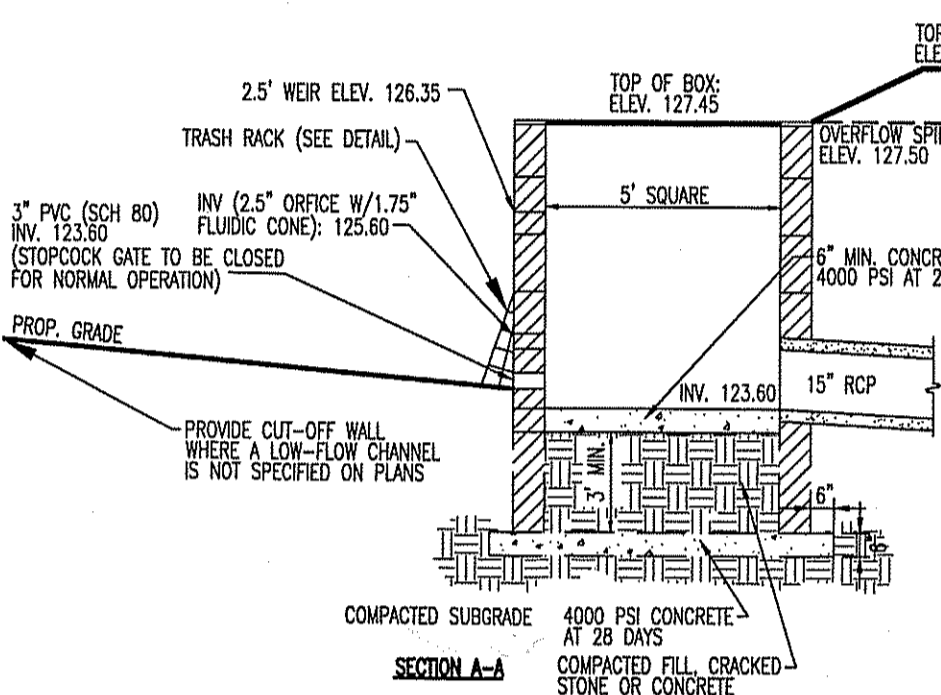
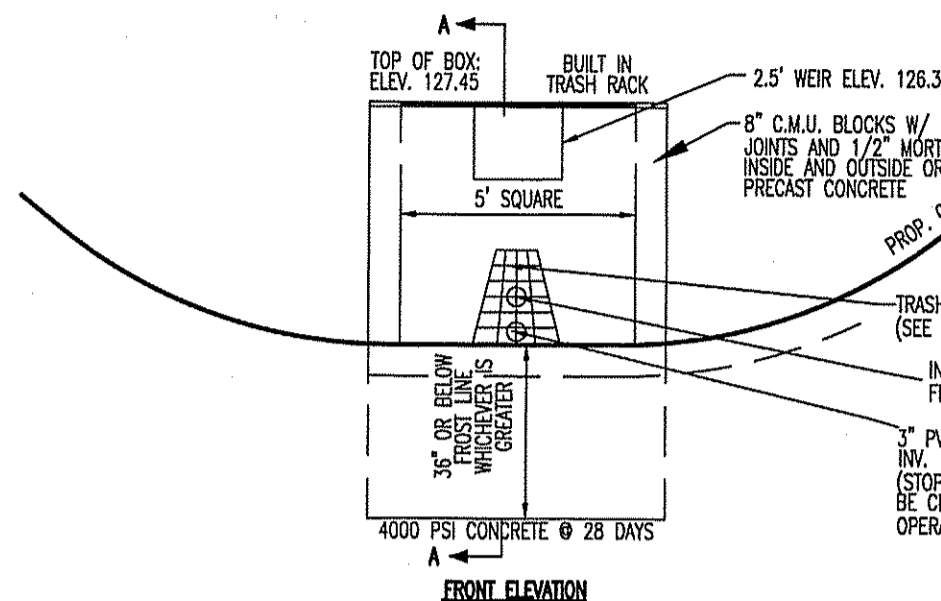
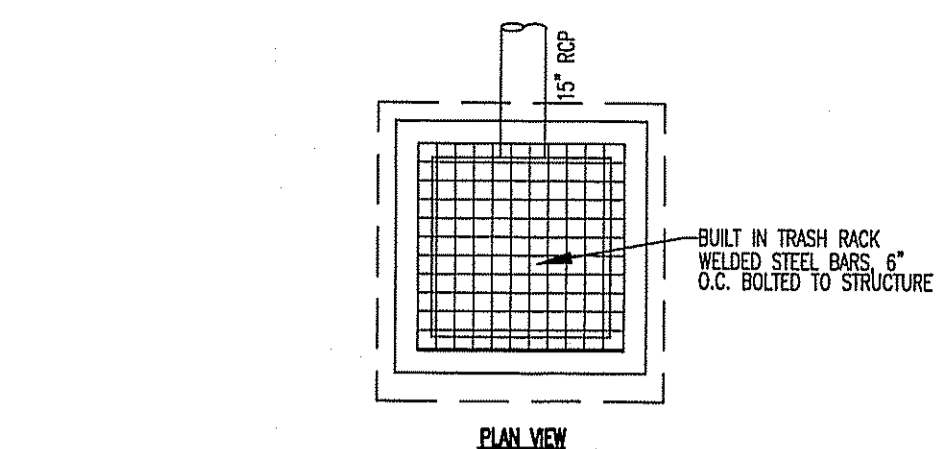
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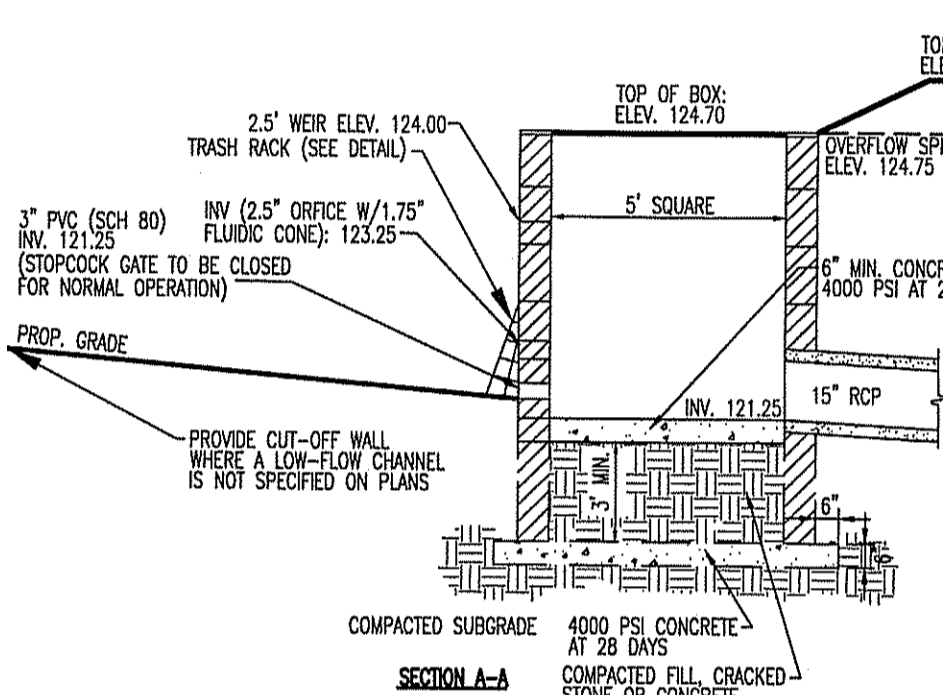
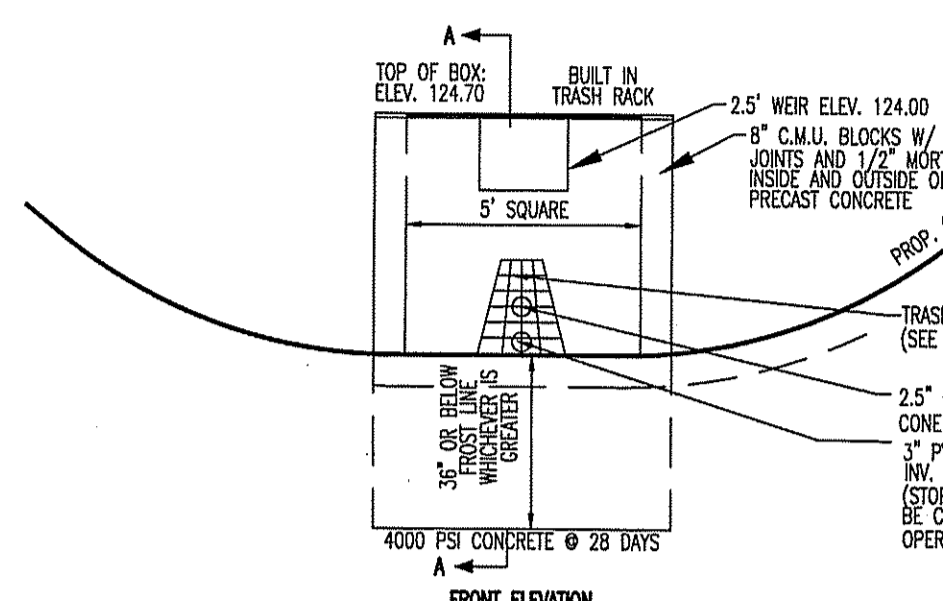
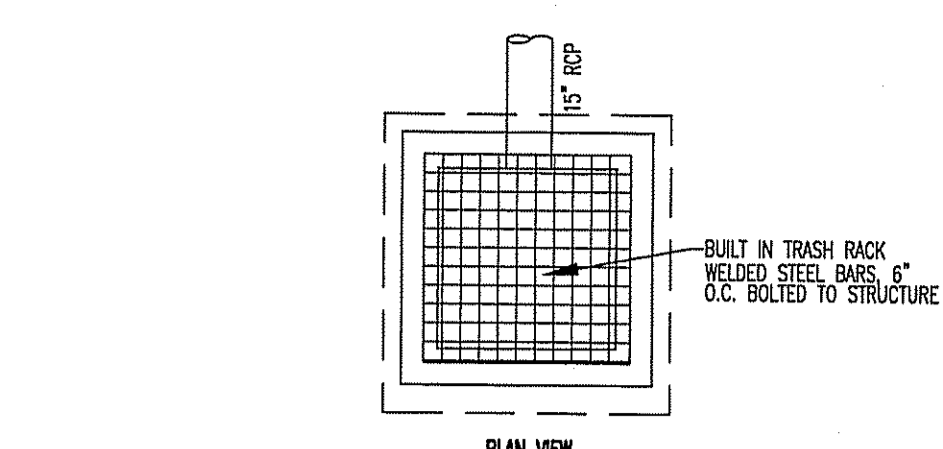
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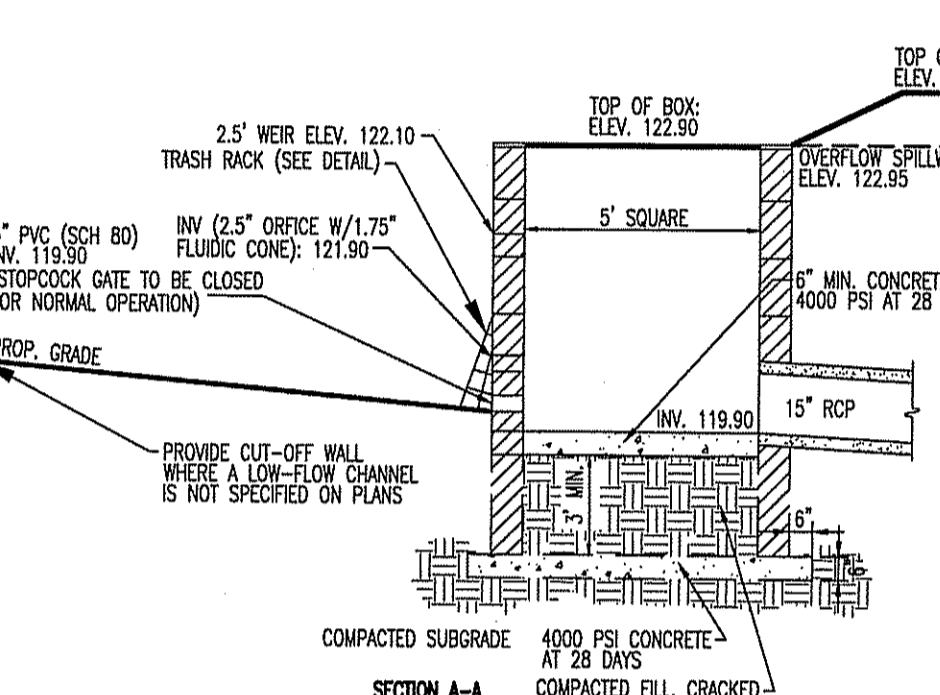
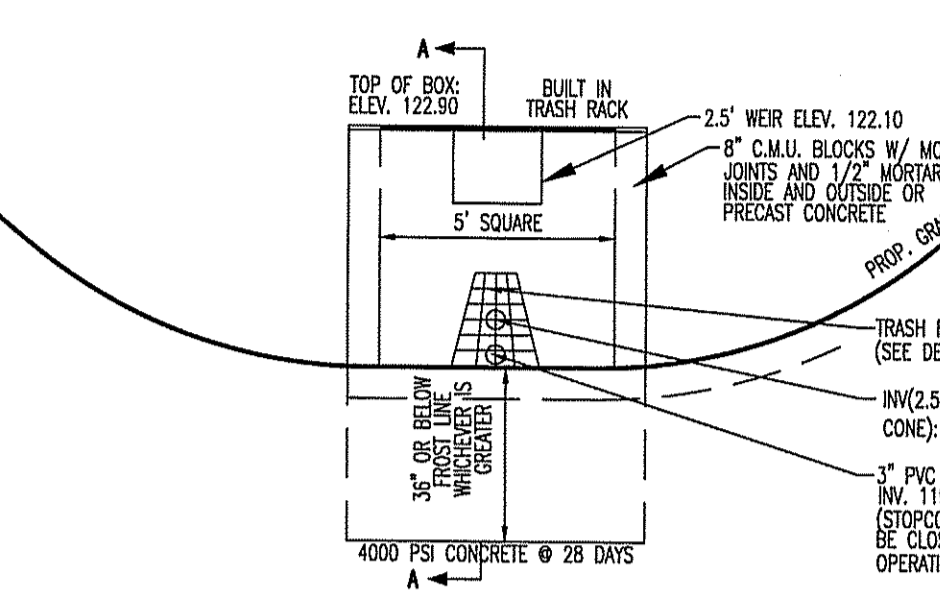
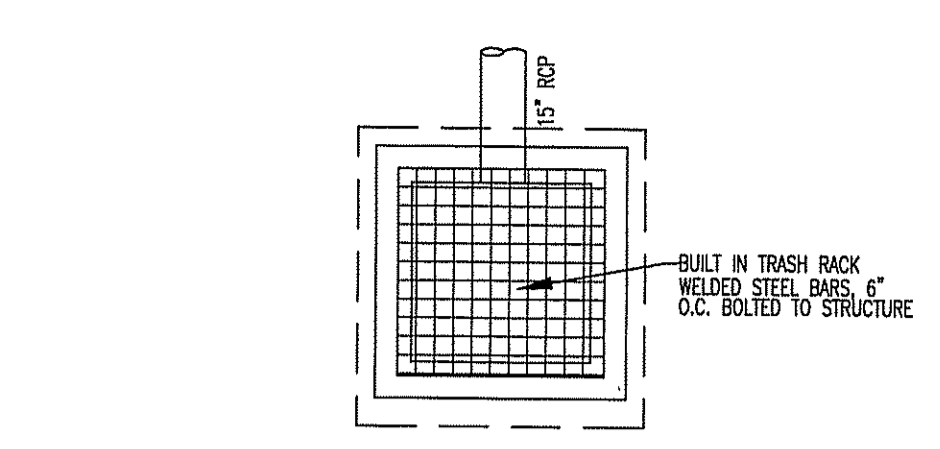
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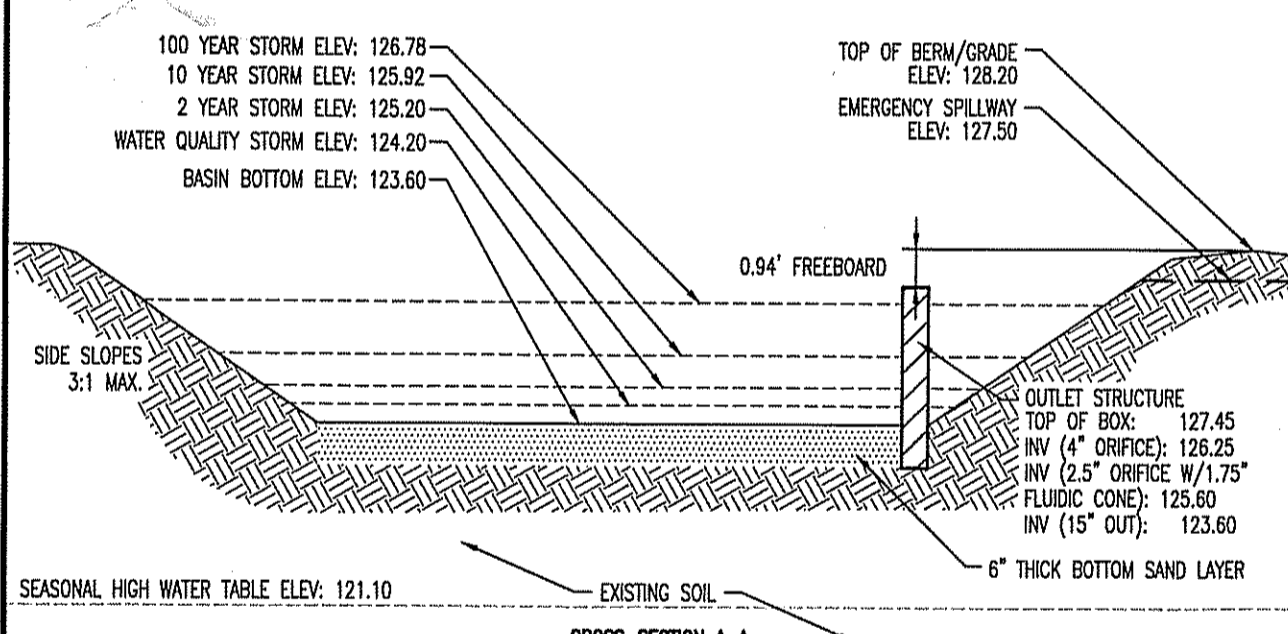
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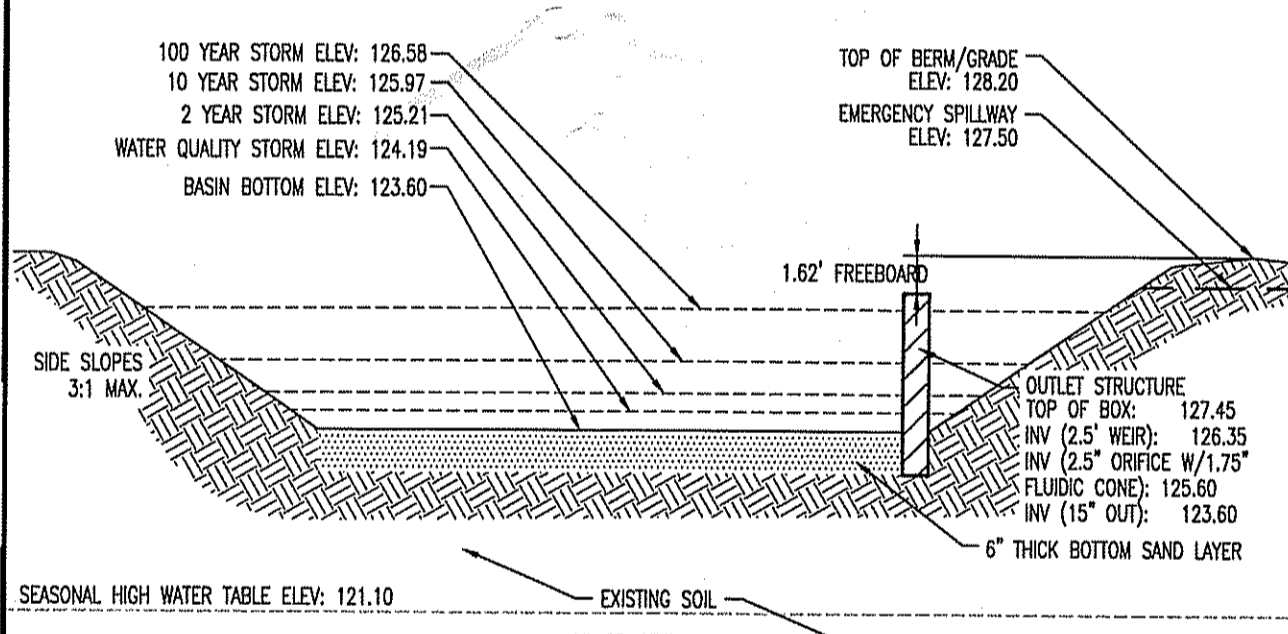
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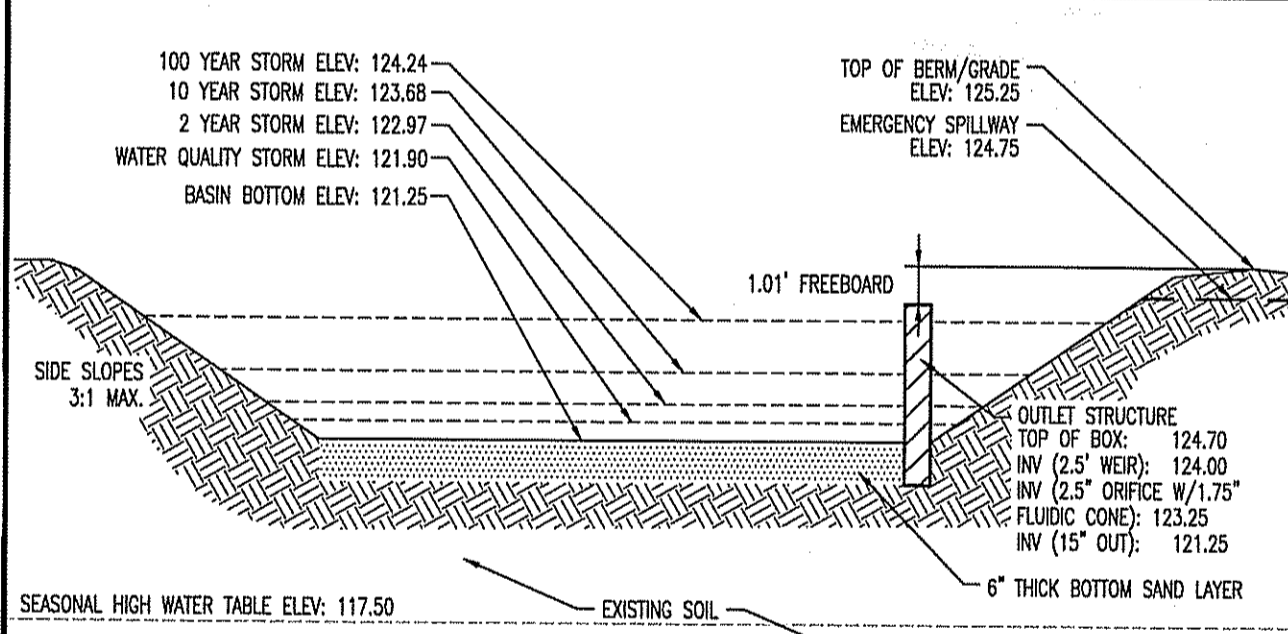
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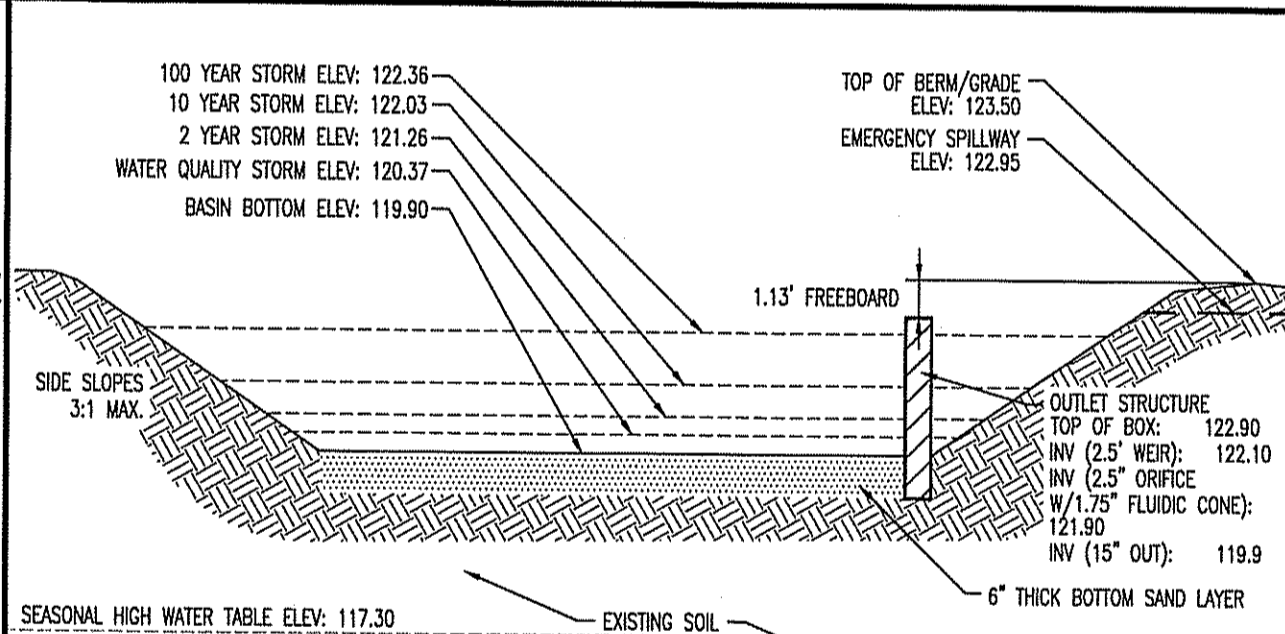
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INFILTRATION BASIN NORTH 2 (SAND) DETAIL
NOT TO SCALE



INFILTRATION BASIN SOUTH 1 (SAND) DETAIL
NOT TO SCALE



INFILTRATION BASIN SOUTH 2 (SAND) DETAIL
NOT TO SCALE

Plotted: 06/29/21 - 10:16 AM. By: emacello. Product: Vm - 24.0s (LMS Tech). File: F:\DEPC\PROJECTS\3724 - Privy Storage\DWG\Site Plans\3724\49001.SDD.dwg. 16 CONSTRUCTION DETAILS

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CONSTRUCTION DETAILS

TITLE: _____

PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001
DATE: 05/23/2021

DRAWN BY: MFZ
DESIGNED BY: RDM
CHECKED BY: JAP
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SCALE: (H) NOT TO SCALE
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Mirada Wall Sconce - XWM Outdoor LED Wall Sconce

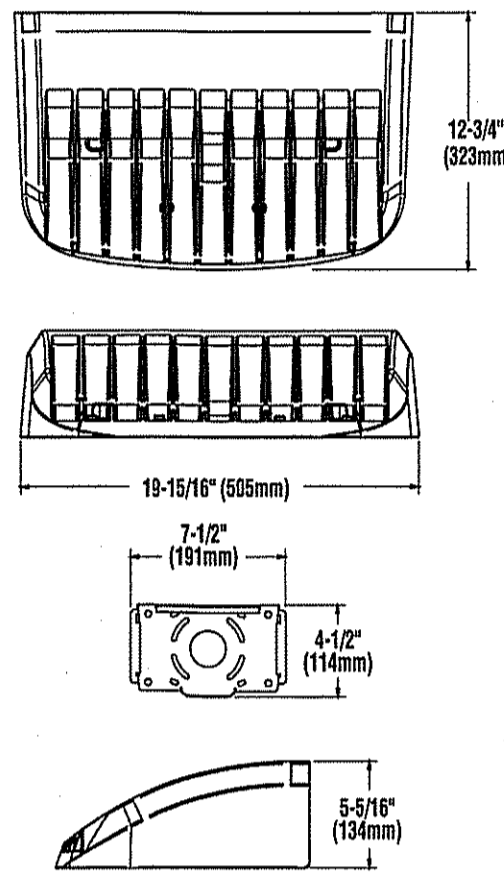
The XWM's sleek design makes it perfectly-suited for architectural & commercial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The XWM offers high performance silicone optics, 4 standard CCTs, 5 lumen packages, and is available with Integral AirLink™ Wireless Controls.

Features & Specifications

- Optical System**
 - State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP65 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, and Forward Throw (FT).
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero Uplight.**
- Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377.
- Minimum CRI of 70.
- Electrical**
 - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 2)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F).
 - Power factor: >.90
 - Input power stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
 - Terminal block provided accepts up to 10ga wire.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
 - Optional 120v-277v integral emergency battery pack is available. The 90-minute batteries provide constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. Operating temperature for standard battery back-up: -0°C to +50°C (-32°F to +122°F). Cold Weather battery backup: -20°C to +50°C (-4°F to +122°F).



Product Dimensions



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Mirada Wall Sconce - XWM Outdoor LED Wall Sconce

Features & Specifications (Cont.)

- Construction**
 - Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
 - Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
 - Optional pole-mounting bracket permits mounting to standard poles (VPMAs).
 - Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.
 - IP65 rated luminaire protects integral components from harsh environments.
 - 3G rated for ANSI C136.31 high vibration applications.
 - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - Shipping weight: 30 lbs in carton.

Controls

- Wireless Controls System**
 - To make this fixture AirLink ready, simply order one of the following options:
 - The Integrated Wireless Lighting Controller: ALSO or ALSCH (see ordering guide) as the controls option, or
 - Integrated Wireless Controller option (above) with integrated motion sensor: ALSOS (ordering guide for mounting heights)
 - To see how the components of AirLink system work together, reference the diagram in the controls section of this specsheet. For more information on our AirLink products, visit our website: www.lsi-airlink.com/airlink-synapse/
 - Stand-Alone Controls**
 - The Integral Passive Infrared motion sensor (IMS) activates switching of luminaire light levels (see the controls section for more details).
 - The Button Type Photocells (PTC) are capable of switching luminaires ON/OFF in response to the amount of available daylight.

- Installation**
 - Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
 - 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
 - Included terminal block provides quick and easy on-site wiring.

- Warranty**
 - LSI LED Fixtures carry a 5-year warranty.
 - 1 Year warranty on optional Battery Back Up. Test regularly in accordance with local codes.

- Listings**
 - Listed to UL 1598 and UL 8750.
 - RoHS Compliant.
 - American Recovery and Reinvestment Act Funding Compliant.
 - IDA compliant, with 3000K or lower color temperature selection.
 - Title 24 Compliant; see local ordinance for qualification information.
 - Suitable for wet Locations.
 - IP65 rated luminaire. IP65 rated optical chamber.
 - 3G rated for ANSI C136.31 high vibration applications
 - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DPL to confirm which versions are qualified.

Performance

Lumen Package	Watts	120V	208V	240V	277V	347V	480V
OBL	22.5	0.19	0.11	0.09	0.08	0.07	0.05
DL	28.5	0.25	0.14	0.12	0.11	0.09	0.08
OBL	44.7	0.37	0.21	0.19	0.16	0.13	0.09
OBL	62.0	0.52	0.30	0.28	0.22	0.18	0.13
12L	102.2	0.85	0.49	0.43	0.37	0.29	0.21

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

Ambient Temperature C	RECOMMENDED LUMEN MAINTENANCE (SL-1L)*					
	Initial*	25K hrs.†	50K hrs.†	75K hrs.†	100K hrs.†	
0 C	100%	97%	94%	90%	87%	
10 C	100%	98%	95%	93%	90%	
20 C	100%	99%	96%	94%	91%	
25 C	100%	98%	95%	93%	90%	
30 C	100%	98%	95%	93%	90%	
40 C	100%	98%	95%	93%	90%	
50 C	100%	98%	95%	93%	90%	

Ambient Temperature C	RECOMMENDED LUMEN MAINTENANCE (SL-2L)*					
	Initial*	25K hrs.†	50K hrs.†	75K hrs.†	100K hrs.†	
0 C	100%	97%	94%	90%	87%	
10 C	100%	97%	94%	90%	87%	
20 C	100%	97%	94%	90%	87%	
25 C	100%	97%	93%	90%	86%	
30 C	100%	97%	93%	90%	86%	
40 C	100%	97%	93%	90%	84%	
50 C	100%	96%	91%	87%	83%	

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing times the IESNA LM-80-08 total test duration for the device under testing.

Specifications and dimensions subject to change without notice.

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06/18/19

BUILDING MOUNTED LIGHT DETAIL

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Mirada Medium - MRM Outdoor LED Area Light

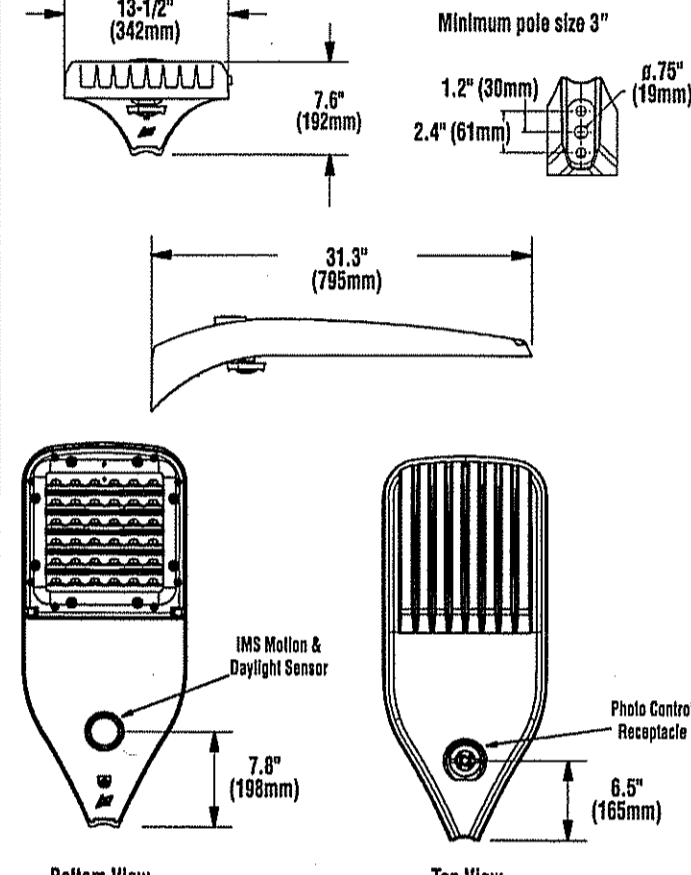
The Mirada's sleek design makes it perfectly-suited for architectural & commercial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Mirada offers high performance factory-rotatable silicone optics, 5 standard CCTs, 42,000+ delivered lumens, and is available with Integral AirLink™ Wireless Controls.

Features & Specifications

- Optical System**
 - State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, SW, FT and FTA.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Zero uplight.
 - Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak Intensity at 510nm.
 - Minimum CRI of 70.
 - Integral Louver (IL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.
- Electrical**
 - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 2)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
 - Power factor: >.90
 - Input power stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
 - Terminal block provided accepts up to 10ga wire.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.



Product Dimensions



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Mirada Medium - MRM Outdoor LED Area Light

Features & Specifications (Cont.)

- Construction**
 - Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
 - Designed to mount to square or round poles.
 - Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.
 - IP66 rated luminaire protects integral components from harsh environments.
 - 3G rated for ANSI C136.31 High vibration applications
 - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - Shipping weight: 30 lbs in carton.

Controls

- Wireless Controls System**
 - To make this fixture AirLink ready, simply order one of the following options:
 - The Integrated Wireless Lighting Controller: ALSO or ALSCH (see ordering guide) as the controls option, or
 - Integrated Wireless Controller option (above) with integrated motion sensor: ALSOS (ordering guide for mounting heights) or
 - The 7-Pin Photoelectric Control Receptor: CR7P as the controls option, or either the 5-Pin or 7-Pin Twist Lock Controller: ALSO UNV TL5 or ALSO UNV TL7 as an accessory
 - To see how the components of AirLink system work together, reference the diagram in the controls section of this specsheet. For more information on our AirLink products, visit our website: www.lsi-airlink.com/airlink-synapse/
 - Stand-Alone Controls**
 - The Integral Passive Infrared motion sensor (IMS) activates switching of luminaire light levels (see the controls section for more details).
 - The 7-pin ANSI C136.41-2013 photocell receptor option (CR7P) is available for twist lock photocell or wireless control modules.
 - The Button Type Photocells (PTC) are capable of switching luminaires ON/OFF in response to the amount of available daylight.

- Installation**
 - A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
 - Included terminal block provides quick and easy on-site wiring.
 - Utilizes LSI's traditional 3" drill pattern for easy fastening of LSI products. (See drawing on page 1)

- Warranty**
 - LSI LED Fixtures carry a 5-year warranty.

- Listings**
 - Listed to UL 1598 and UL 8750.
 - RoHS Compliant.
 - American Recovery and Reinvestment Act Funding Compliant.
 - IDA compliant, with 3000K color temperature selection.
 - Title 24 Compliant; see local ordinance for qualification information.
 - Suitable for wet Locations.
 - IP66 rated luminaire. IP66 rated optical chamber.
 - 3G rated for ANSI C136.31 high vibration applications
 - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DPL to confirm which versions are qualified.

Performance

Lumens	Watts	120V	208V	240V	277V	347V	480V
7L	53	0.4A	0.3A	0.2A	0.2A	0.2A	0.1A
9L	69	0.6A	0.3A	0.3A	0.3A	0.3A	0.1A
12L	94	0.8A	0.5A	0.4A	0.3A	0.3A	0.2A
18L	150	1.2A	0.7A	0.6A	0.4A	0.4A	0.2A
24L	187	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A
30L	247	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317	2.6A	1.5A	1.3A	1.1A	0.8A	0.7A
42L	390	3.2A	1.8A	1.6A	1.4A	1.1A	0.8A

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

Ambient Temperature C	RECOMMENDED LUMEN MAINTENANCE (24-42L)*					
	Initial*	25K hrs.†	50 hrs.†	75 hrs.†	100 hrs.†	
0-40 C	100%	100%	97%	94%	90%	

Ambient Temperature C	RECOMMENDED LUMEN MAINTENANCE (7-18L)*					
	Initial*	25K hrs.†	50 hrs.†	75 hrs.†	100 hrs.†	
0-50 C	100%	98%	92%	88%	84%	

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

Lumen Package	Distribution	Phosphor Converted Amber (Peak 510nm)	Wattage
9L	2	556	50
	2-IL	3844	50
	FT	6109	50
	3-IL	4668	61
	SW	5671	74
12L	2	7309	74
	2-IL	4992	49
	3	7749	76
	3-IL	6793	67
	SW	7945	89
18L	2	10309	103
	2-IL	6924	81
	3	11493	114
	3-IL	9924	99
	SW	12099	141
24L	2	13809	138
	2-IL	9204	92
	3	15493	154
	3-IL	13304	133
	SW	14409	171
30L	2	18809	188
	2-IL	12204	122
	3	20893	208
	3-IL	18004	180
	SW	19209	225
36L	2	25809	258
	2-IL	16804	168
	3	28893	288
	3-IL	24604	246
	SW	26409	315
42L	2	34809	348
	2-IL	22804	228
	3	38893	388
	3-IL	33604	336
	SW	35409	420

*LED Chips are frequently updated therefore values are nominal

Luminaire	Watts	120V	208V	240V	277V	347V	480V
7L	53	0.4A	0.3A	0.2A	0.2A	0.2A	0.1A
9L	69	0.6A	0.3A	0.3A	0.3A	0.3A	0.1A
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42L	390	3.2A	1.8A	1.6A	1.4A	1.1A	0.8A

Specifications and dimensions subject to change without notice.

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02/28/19

AREA LIGHT DETAIL

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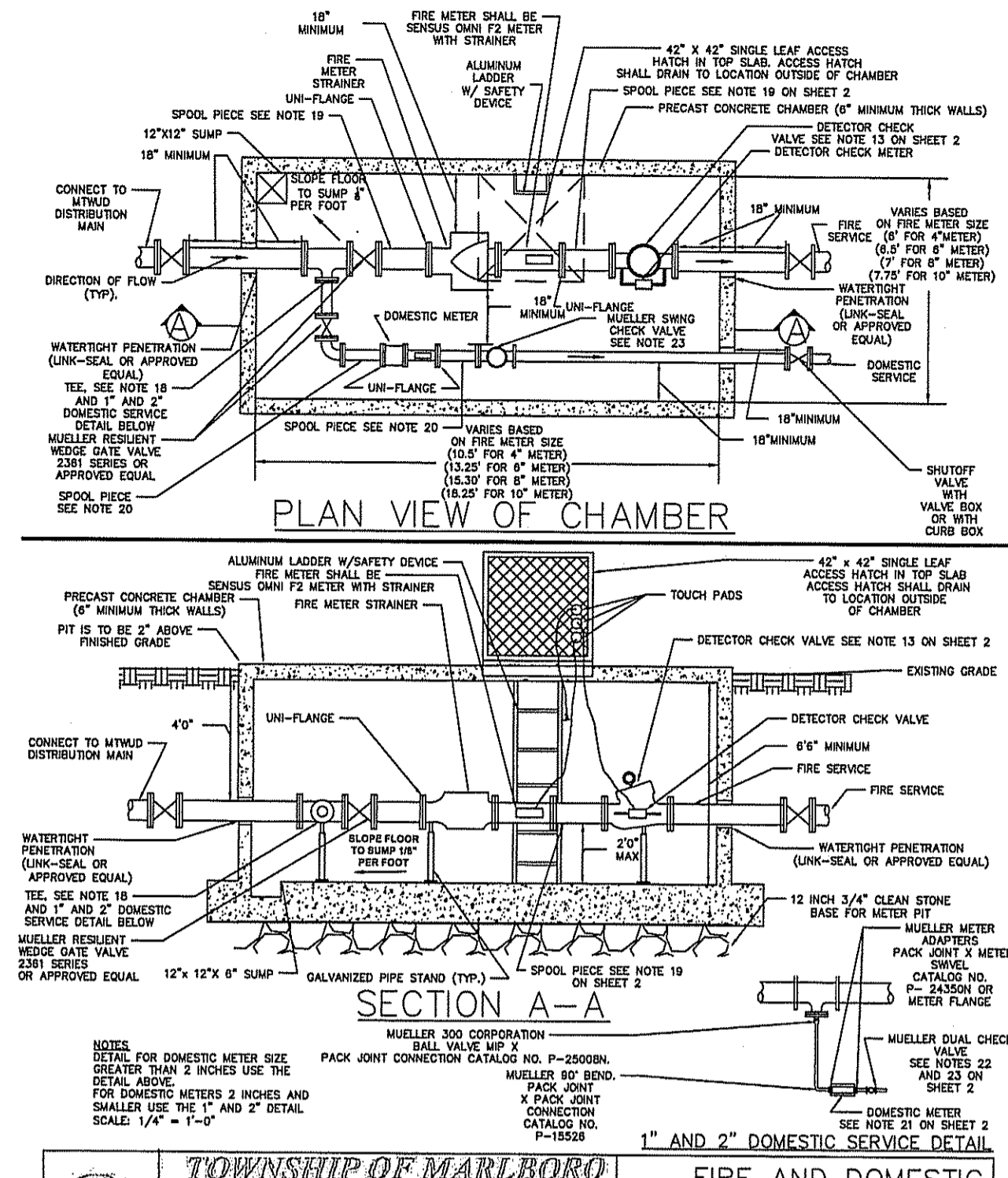
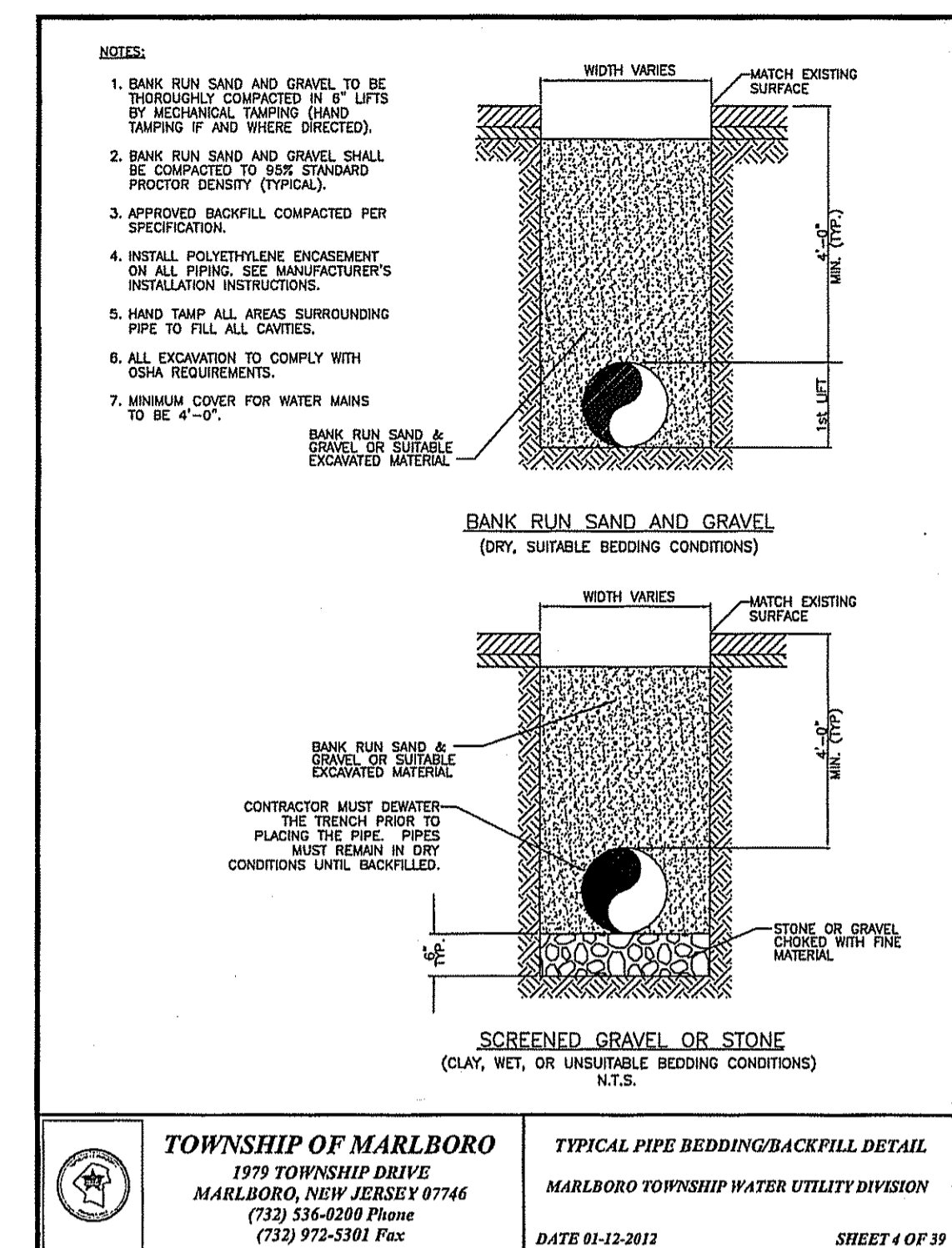
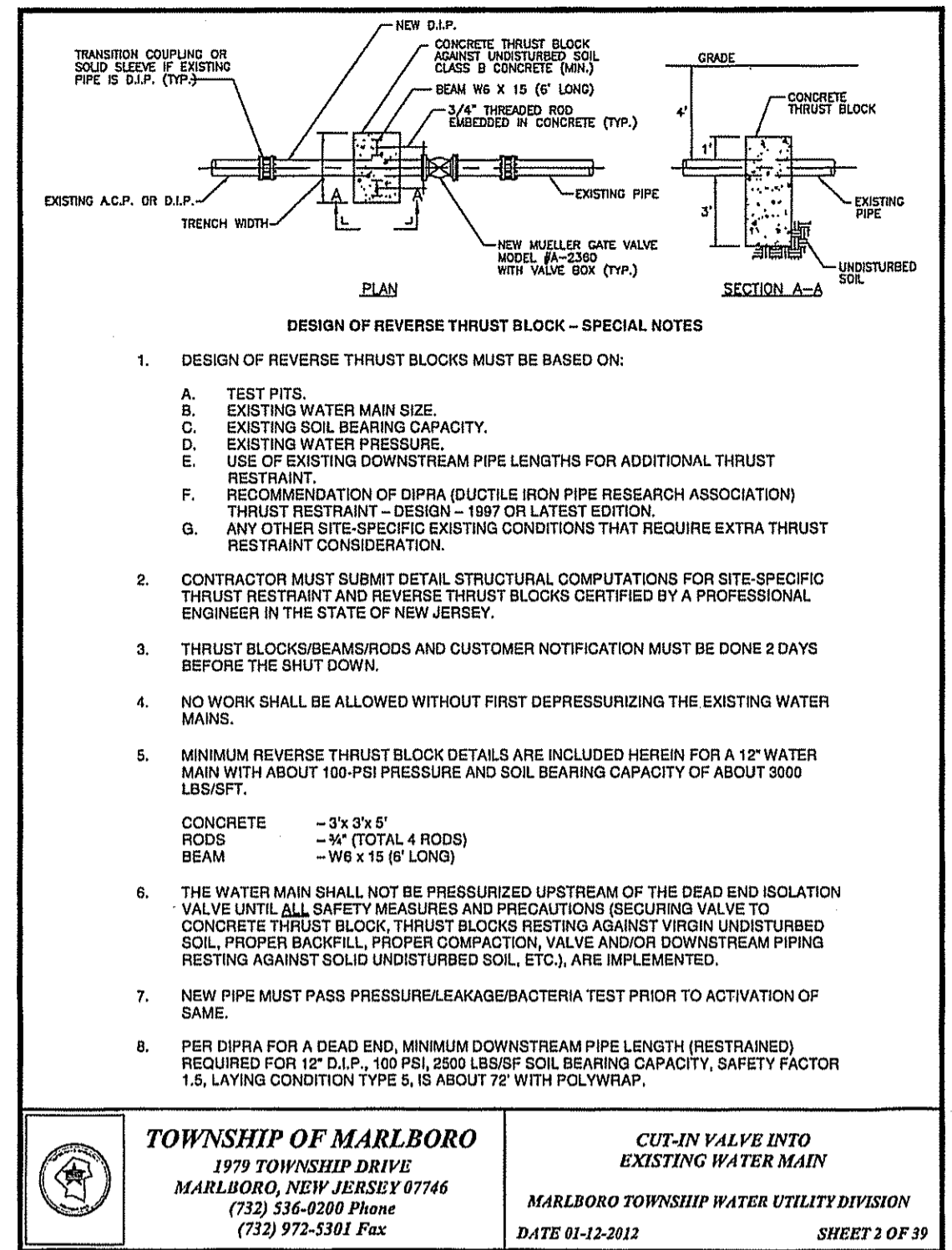
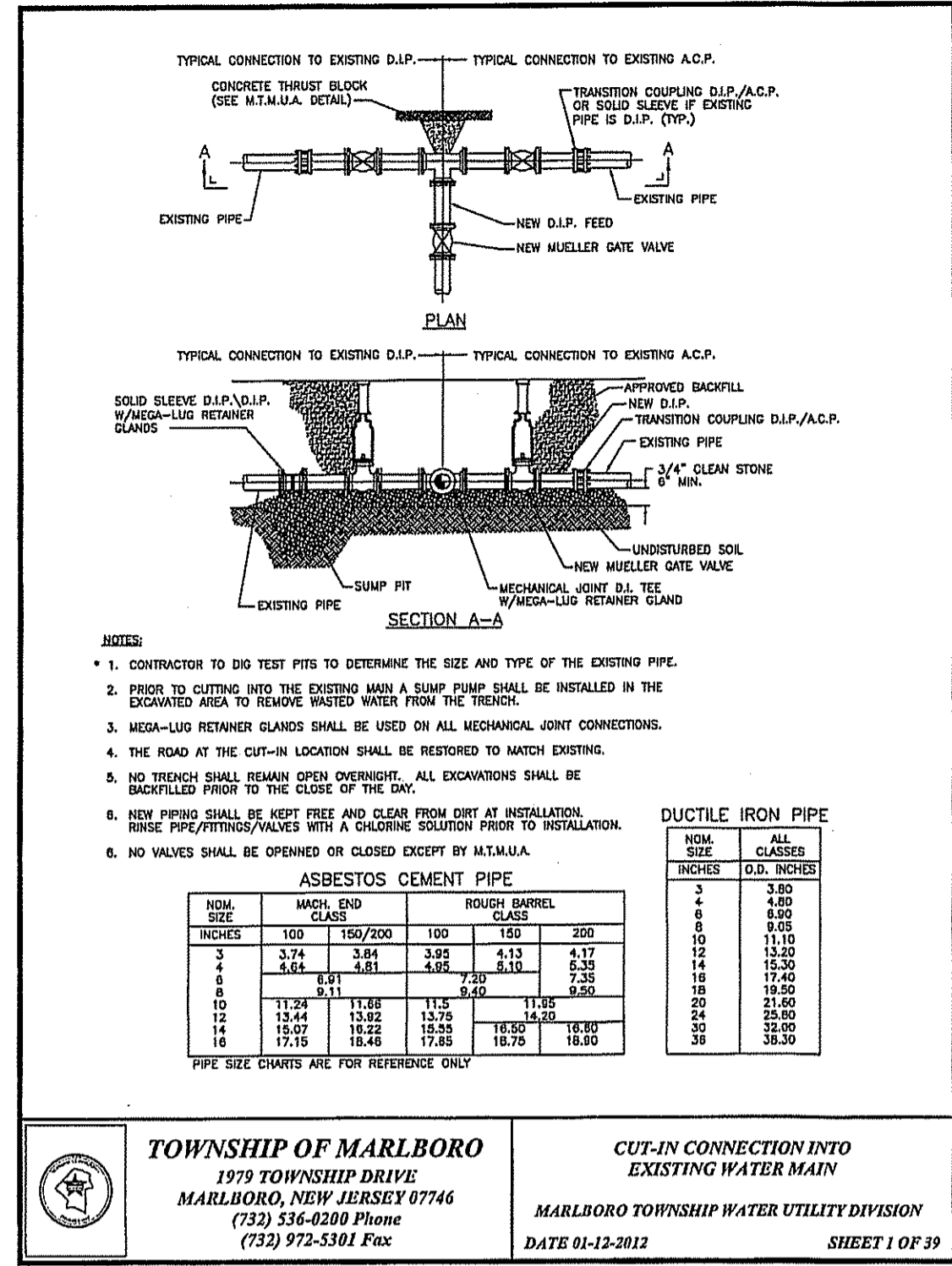
PROJECT: **STACK STORAGE, LLC
PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY**

JOB No: 3724-99-001
DATE: 06/23/2021
DRAWN BY: MFZ
SCALE: (H) NOT TO SCALE
DESIGNED BY: RDM
SHEET No: 17
CHECKED BY: JAP
CHECKED BY: RYAN MCDERMOTT
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56559

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

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GENERAL NOTES

- PROVIDE METER PIT SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SUBMITTAL SHALL INCLUDE FULLY DIMENSIONED DRAWING AND PROVIDE DESIGN CALCULATIONS SIGNED AND SEALED BY A LICENSED NJ PROFESSIONAL ENGINEER.
- ALL PIPE AND FITTINGS SHALL BE DETERMINED BY THE DESIGN ENGINEER.
- THE DESIGN CRITERIA FOR THIS CHAMBER SHALL CONFORM TO TRAFFIC LOADS FOR A CHAMBER.
- INTERIOR HEIGHT OF METER PIT SHALL BE A MINIMUM OF 6'6". TOP OF METER PIT A MAXIMUM OF 2" ABOVE FINISHED GRADE.
- INTERIOR SURFACES SHALL BE EPOXY COATED WHITE. EXTERIOR SURFACES SHALL BE COATED WITH BITUMASTIC WATERPROOFING.
- ACCESS HATCH SHALL BE BILCO DOOR MODEL J-SAL H20. DOOR SHALL BE CENTERED OVER FIRE SERVICE METER.
- FLOOR OF WATER METER PIT SHALL BE SLOPED TOWARDS THE LOCATION OF THE 12"x12" SUMP.
- METER PIT SHALL BE SET ON A MINIMUM 12" THICK 3/4" STONE BEDDING.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48".
- ALL METERS, PIPING, EQUIPMENT AND VALVES TO BE SUPPLIED BY CONTRACTOR.
- STAINLESS STEEL ADJUSTABLE PIPE SUPPORTS SHALL BE PROVIDED FOR METERS, VALVES AND TEES. REMAINING PIPING SHALL BE SUPPORTED AS NEEDED.
- ALL GATE VALVES SHALL BE MUELLER RESILIENT WEDGE 2361 SERIES FLANGED, OPEN LEFT, NON-RISING STEM. ALL VAULT INTERIOR VALVES SHALL BE EQUIPPED WITH A HAND WHEEL BURIED VALVE SHALL HAVE MECHANICAL JOINTS AND 2 INCH SQUARE OPERATING NUT AND A VALVE BOX.
- DETECTOR CHECK VALVE SHALL BE A MUELLER DETECTOR CHECK VALVE EDC IV WITH TRIM KIT BYPASS FOR A 2" METER.
- ALL HARDWARE SHALL BE HEAVY HEX HEAD TYPE 304 STAINLESS STEEL WITH A MINIMUM TENSILE STRENGTH OF 85,000 PSI AND SHALL CONFORM TO ASTM F593.
- ALL FERROUS METAL PIPE AND FITTINGS SHALL HAVE A COAT OF SHERWIN WILLIAMS MACROPOXY 646 APPLIED BASED ON MANUFACTURER'S RECOMMENDATIONS.
- ALL DOMESTIC SERVICE PIPING LARGER THAN 3" SHALL BE CLASS 52 DUCTILE IRON.
- 2" DOMESTIC SERVICE PIPE AND SMALLER SHALL BE TYPED K-HARD COPPER.
- FOR DOMESTIC SERVICES LESS THAN 3" IN SIZE, A TAPPED BLIND FLANGE SHALL BE INSTALLED ON THE BRANCH LINE OF THE TEE, TAPPED FOR THE APPLICABLE SIZE DOMESTIC SERVICE LINE.
- THE FIRE SERVICE SPOOL PIECES SHALL BE A MINIMUM LENGTH OF 2.5 TIMES THE DIAMETER OF THE PIPE AND INSTALLED DIRECTLY ADJACENT TO THE METER AND SHALL HAVE A PLAIN END WITH UNI-FLANGE AND A FLANGED END.
- THE DOMESTIC SERVICE SPOOL PIECES SHALL BE A MINIMUM LENGTH OF 4 TIMES THE DIAMETER OF THE PIPE AND INSTALLED DIRECTLY ADJACENT TO THE METER AND SHALL HAVE A PLAIN END WITH UNI-FLANGE AND A FLANGED END.
- FOR 1" DOMESTIC SERVICES A SENSUS PERL WATER METER SHALL BE USED. FOR 2" DOMESTIC SERVICES AND LARGER A SENSUS OMN C2 COMPOUND METER SHALL BE USED.
- ALL 1" DOMESTIC SERVICE LINES SHALL BE EQUIPPED WITH A MUELLER STRAIGHT DUAL CHECK VALVE CATALOG NO. H-14243N OR APPROVED EQUAL CONNECTION TO BE MADE WITH MUELLER STRAIGHT PACK JOINT FOR CTS X MP. CATALOG NO. P-15428.
- 2" DOMESTIC SERVICES AND LARGER SHALL BE EQUIPPED WITH A MUELLER MODEL 2800-088B SWING CHECK VALVE.
- FLANGE ADAPTERS SHALL BE EBAA IRON SERIES 1000 E2 FLANGE OR APPROVED EQUAL.

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CUT-IN CONNECTION INTO EXISTING WATER MAIN
MARLBORO TOWNSHIP WATER UTILITY DIVISION
DATE 01-12-2012
SHEET 1 OF 39

TOWNSHIP OF MARLBORO
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CUT-IN VALVE INTO EXISTING WATER MAIN
MARLBORO TOWNSHIP WATER UTILITY DIVISION
DATE 01-12-2012
SHEET 2 OF 39

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MARLBORO, NEW JERSEY 07746
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TYPICAL PIPE BEDDING BACKFILL DETAIL
MARLBORO TOWNSHIP WATER UTILITY DIVISION
DATE 01-12-2012
SHEET 4 OF 39

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FIRE AND DOMESTIC METER PIT DETAIL
DATE: 5/17/2017
REVISED: 3/19/2019
1 OF 2

TOWNSHIP OF MARLBORO
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FIRE AND DOMESTIC METER PIT DETAIL
DATE: 5/17/2017
REVISED: 3/19/2019
2 OF 2

MARLBORO TOWNSHIP
Water Utility Division
STANDARD WATER DISTRIBUTION PRODUCTS

[Page 1 of 3]

NO.	ITEM	DESCRIPTION	MUELLER MODEL NO.
1	Pipe & Fittings	Class 52 Ductile iron cement lined (double thickness) U.S. Pipe tyton joint with FIELDLOK gasket (U.S. Pipe or equal). fittings shall be mechanical joint with retainer glands (EBAA Iron series 1100 mega lugs)	N/A
2	Fire Hydrants	AWWA C-502 Mueller Centurion size 5 1/2" main valve opening three way (1) 4 1/2" dia. pumper nozzle (2) 2 1/2" dia. outlets	A-423
3	Service Pipe	Soft type "K" copper ASTM B-88	N/A
4	Gate Valves (12" dia. & less AWWA C-509)	Mueller resilient wedge gate valve NRS	A-2360-20 (MJ) A-2360-6 (F)
5	Valve Boxes	5 1/2" shaft, Bingham & Taylor fig. no. 4908 or Tyler pipe	Bingham & Taylor fig. no. 4908 or Tyler Pipe
6	Corporation Stops (ball design min. 200 psi)	Suitable for "K" copper service pipe & 200 psi	B-25000 (flare) B-25008 (compression) or 110 (for plastic or copper tubing) flared or compressed
7	Curb Stops (ball design min. 200 psi)	Inverted key stop round way suitable for "K" copper service pipe	B-25204 (flare) B-25209 (compression)
8	Curb Boxes	With stationary rod and one piece lid	H-10314
9	Inside Meter Yokes	Vertical inlet & outlet straight line	H-1412, H-14168 or H-1413
10	Outside Meter Pits	Thermal Coil meter box Mueller/McCullough for 5/8" diameter by 3/4" meter	203-ce-18-48-f-b-s (may vary) insul pad #790153 (may vary) lid frame#700098(may vary) Lid #2262925, w/ touch rod (may vary)

MARLBORO TOWNSHIP
Water Utility Division
STANDARD WATER DISTRIBUTION PRODUCTS

[Page 2 of 3]

NO.	ITEM	DESCRIPTION	MUELLER MODEL NO.
11	Tapping Sleeve & Tapping Valve	Stainless Steel type	a. H-304 (sleeve) b. T-2360 (valve)
12	Butterfly Valves (larger than 12" dia.)	Mueller Lina series III AWWA C-504	B-3211-20
13	Flushing Hydrants (for dead ends)	For blow-off	A-423
14	Cut-in Sleeve	D.I.P. type	H-840
15	Cut-in Valve	D.I.P. type, AWWA C-509	H-862
16	Inserting Valve	D.I.P. type	H-800
17	Repair Sleeve & Bell Joint Clamps	For repairs	Rockwell 441 type Mueller H-785 or H-786 Dresser styles 50 or 100
18	Detector Check w/trim package	For fire service Hersey EDC111, Hersey GCM, Hersey MFM11-MCT11	A-2130-6 w/trim package
19	2" or larger Domestic Water Service	See meter pit & installation detail	Sensus SRH compound meter
20	Backflow Preventer	Reduced pressure type with two (2) check valves	Mueller, Cla-Val, Hersey
21	Full Registration for domestic & fire service	For metering domestic & fire flow	Invensys FM meter w/ 1/2" SR displacement type by-trim meter, MXU for RadioRead, and ECR/TRFL register for TouchRead System

MARLBORO TOWNSHIP
Water Utility Division
STANDARD WATER DISTRIBUTION PRODUCTS

[Page 3 of 3]

NO.	ITEM	DESCRIPTION	MUELLER MODEL NO.
22	Polyethylene Encasement (8 mil)	To prevent potential corrosion	Reporc - 8 mil ASTM D1248-89 TYPE I, black
23	Transition Coupling		Smith Blair 441
24	Service Saddle	Brass body double strap	Mueller BR2B series
25	Link Seal	For use in sealing pipe penetrations through walls	Link Seal
26	Sampling Station		Eclipse Model No. 88
27	Flanged Coupling Adapters (fully restrained)	For interior use to connect plain end D.I.P. to flanged equipment	EBAA, Smith Blair or equal
28	Double Leaf Access Door	See sketch elsewhere	N/A
29	Precast Meter Pit	See sketch elsewhere	N/A
30	Aluminum Ladder & Safety Device	See sketch elsewhere	Halliday Products or equal

* All pipes/fittings must be encased in 8-mil polyethylene encasement

Product Ver: 24.0a, By: emcnicillo, 10:16 AM, File: P:\Users\emcnicillo\Projects\17242 - Fire Storage\19-001 Marlboro\DWG\Site Plans\17242989001SD0.dwg, 18 - MARLBORO TOWNSHIP CONSTRUCTION DETAILS

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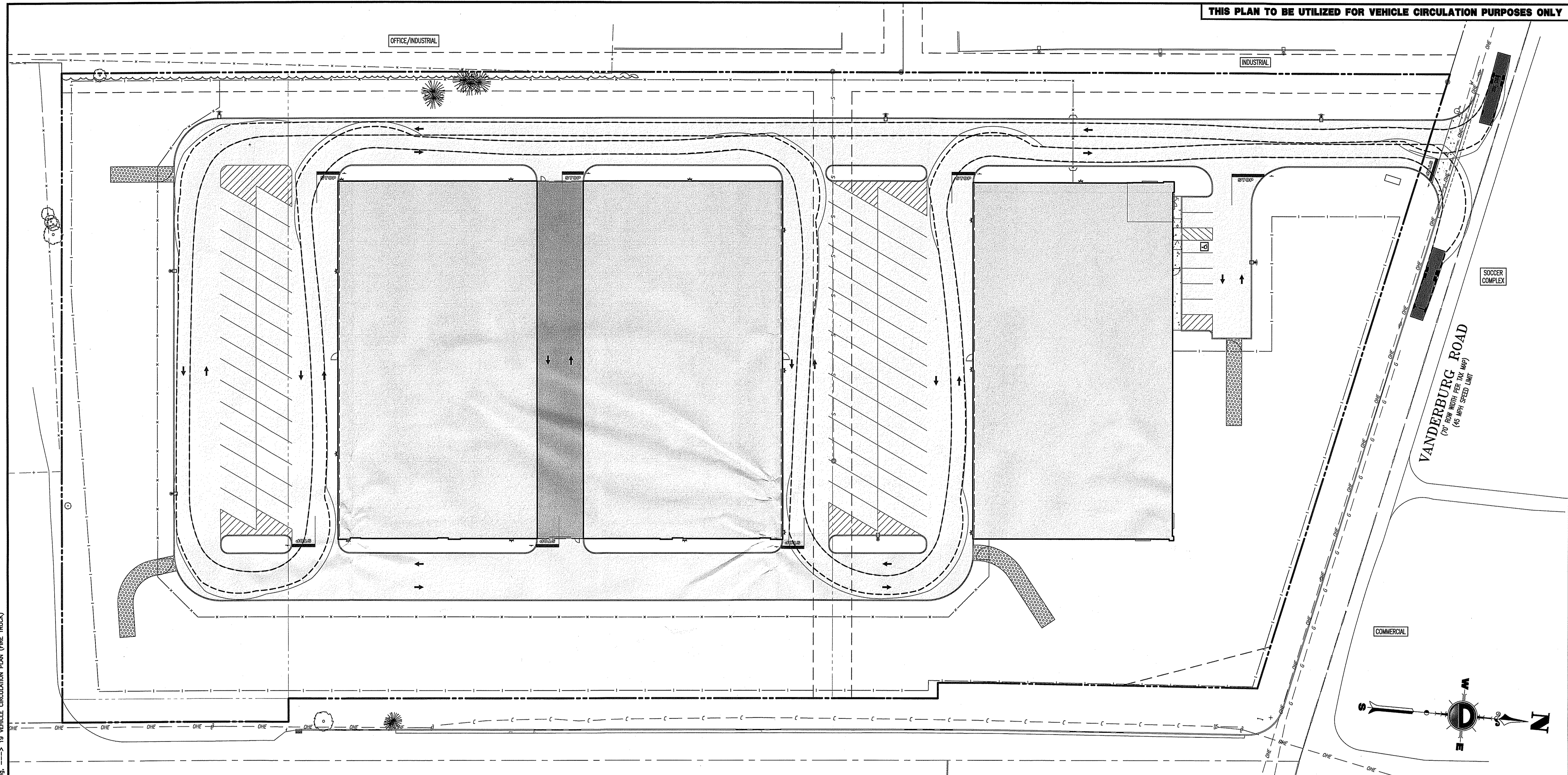
PROJECT: **STACK STORAGE, LLC**
PROPOSED SELF STORAGE
BLOCK 360, LOTS 7 & 8
VANDERBURG ROAD & BOUNDARY ROAD
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

JOB No: 3724-99-001
DATE: 06/23/2021
DRAWN BY: MFZ
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: RDM
CHECKED BY: JAP
SHEET No: 18 OF 19

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NEW JERSEY LICENSE NO. 41975

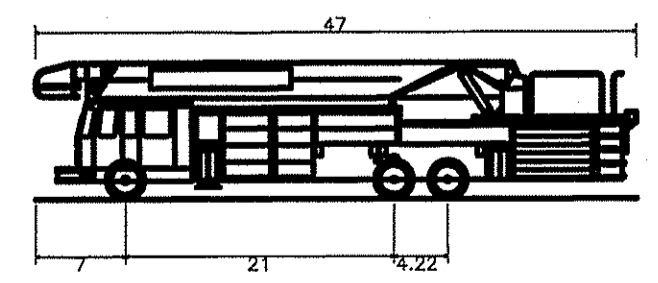
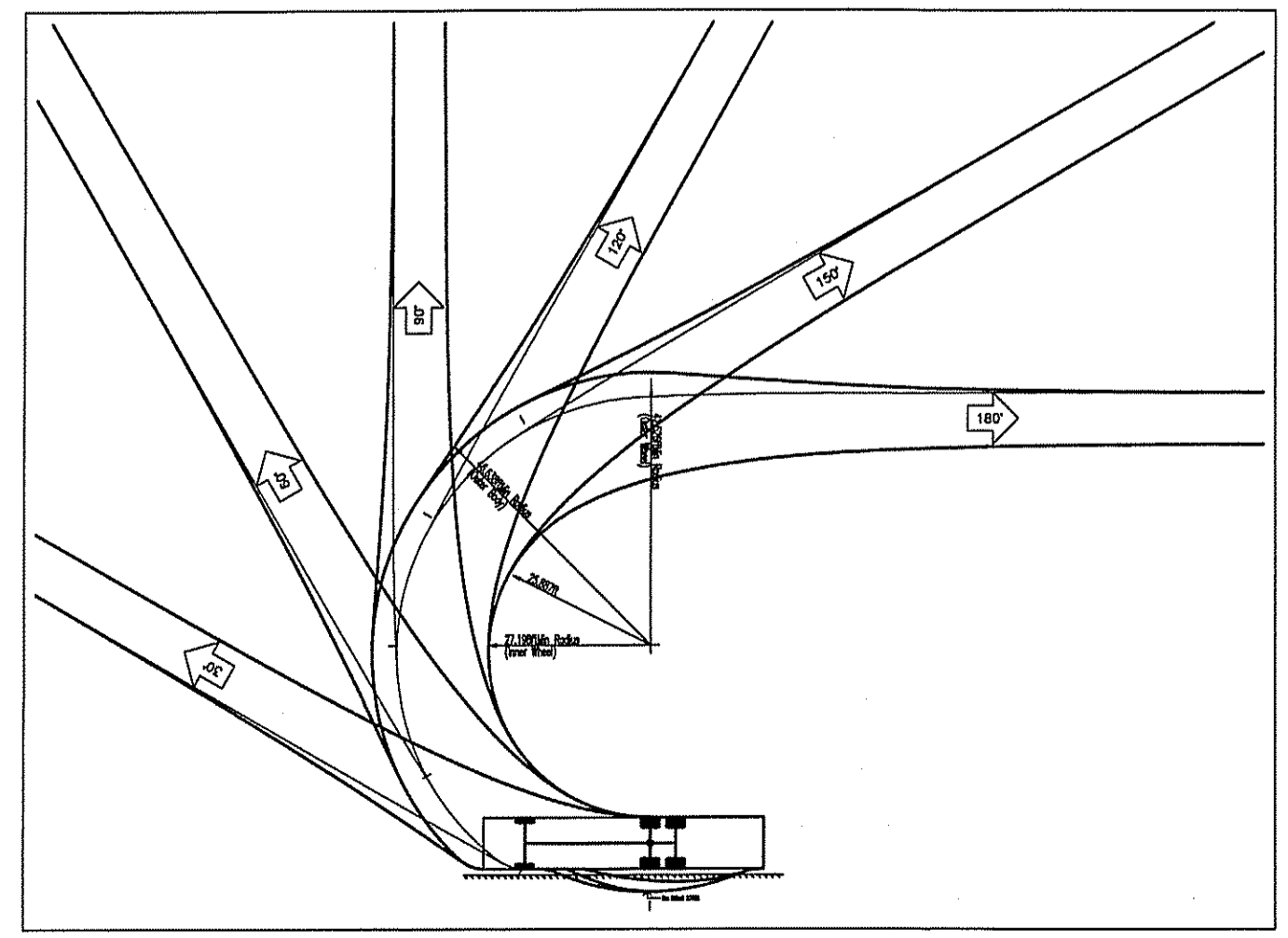
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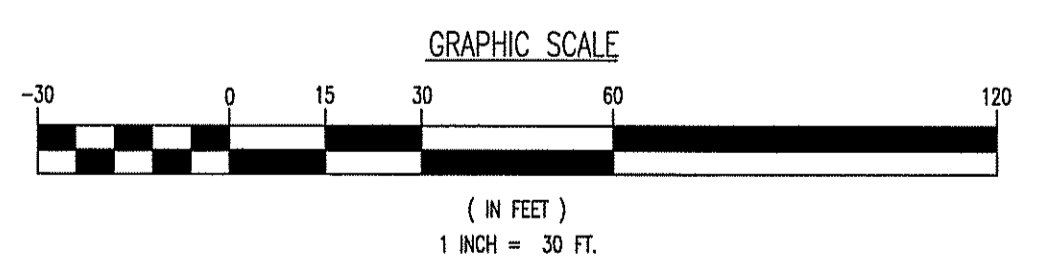


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BOUNDARY ROAD
 (VARIABLE WIDTH ROW PER TAX MAP)
 (45 MPH SPEED LIMIT)



Firetruck - Generic
 Overall Length 47.000ft
 Overall Width 8.500ft
 Overall Body Height 10.519ft
 Min Body Ground Clearance 0.950ft
 Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 40.00°



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VEHICLE CIRCULATION PLAN (FIRE TRUCK)
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JOB No: 3724-99-001
 DATE: 08/23/2021
 DRAWN BY: MFZ
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